

**NOTE:**

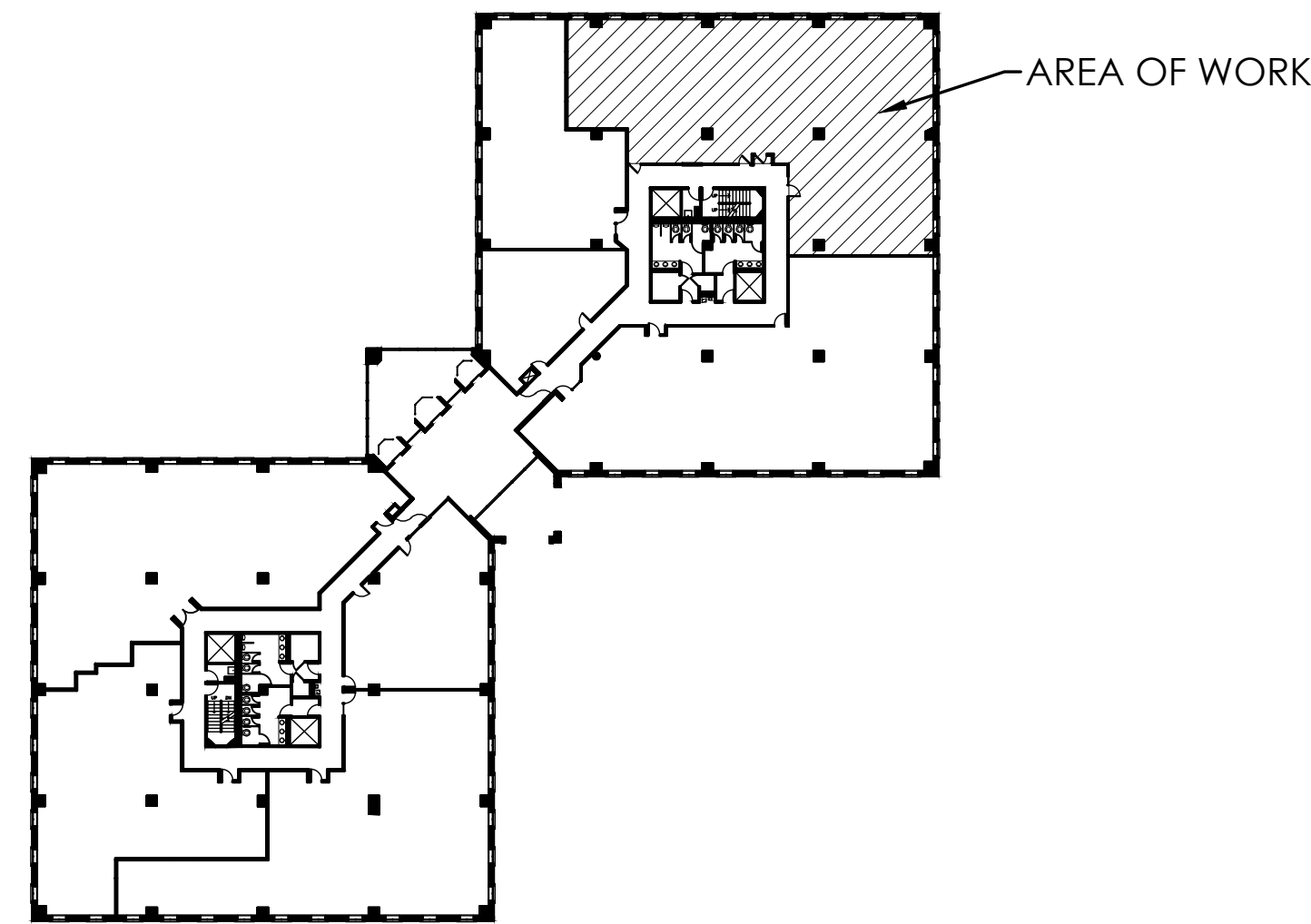
THE INTERIOR DESIGN GROUP LTD. IS NOT RESPONSIBLE FOR THE PREPARATION OF ANY MECHANICAL, PLUMBING OR STRUCTURAL ENGINEERING DRAWINGS AND DOES NOT TAKE ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DOCUMENTS PREPARED AND PROVIDED BY OTHERS.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE COPIES OF THE FULL SET OF ARCHITECTURAL AND ENGINEERING DRAWINGS TO EACH SUBCONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS ARE DISCOVERED, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE INTERIOR DESIGN GROUP LTD. OF SUCH CONFLICTS, BEFORE PROCEEDING WITH ANY WORK.

# DR. GIRGIS (REMODEL AND EXPANSION)

ELM PLAZA  
908 ELM STREET  
SUITE #306  
HINSDALE, ILLINOIS 60521

KEY PLAN: 



**BUILDING INFORMATION**

908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521

- HEIGHT OF BUILDING: 4 STORIES
- IBC BUILDING/CONSTRUCTION CLASSIFICATION: IIB
- USE GROUP: "B" -BUSINESS
- ALL TENANTS IN BUILDING ARE USE GROUP "B" BUSINESS
- NFPA 101 BUILDING CONSTRUCTION CLASSIFICATION: II 000
- FIRE CONTROL:
  - SPRINKLER: YES
  - MONITORED: YES
  - ALARMED: YES
- EMERGENCY GENERATOR: NO
- EVACUATION:
  - ALARMED (HORN/STROBE): YES
  - VENDOR: YES

SECURITY DESIGN AND INSTALLATION INC.  
SCOTT AEPPLÉ  
(630) 365-0500

UL DESIGN #U465  
FOR TENANT DEMISE WALLS:

**2006 IBC**

CORRIDOR FIRE-RESISTANCE RATING TABLE 1017.1

- "B" OCCUPANCY 0 HOUR RATED PARTITION OCCUPANT LOAD>30 WHEN SPRINKLERED
- DOOR ASSEMBLY 1/3 HOUR (20 MINUTE)

**2003 NFPA 101**

MINIMUM FIRE PROTECTION RATINGS FOR OPENING PROTECTIVE IN FIRE RESISTANCE-RATED ASSEMBLIES

- EXIT ACCESS CORRIDORS 1 HOUR RATED WALL
- FIRE DOOR ASSEMBLY 1/3 HOUR (20 MINUTE)

• AREA OF SUITE: 4,748 U.S.F.

• OCCUPANCY LOAD: 48 PEOPLE  
100 S.F. PERSON (PER CODE)

• WIDTH OF EXITS REQUIRED: 48 X .15" = 7.20"

• EXIT WIDTH REQUIRED: 7.20" < 108" ACTUAL

• NUMBER OF EXITS INDICATED: 3  
(36" WIDE X 3 = 108" INDICATED)  
TOTAL = 108" INDICATED)

• MAX. TRAVEL DISTANCE: 300'

• AISLE WIDTH: 48" (ACTUAL)  
44" (MINIMUM)

**VILLAGE CODES OBSERVED**

- 2006 INTERNATIONAL BUILDING CODE WITH AMENDMENTS
- 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE WITH AMENDMENTS
- 2005 NEC WITH AMENDMENTS
- 2006 INTERNATIONAL PLUMBING CODE WITH AMENDMENTS
- 2014 ILLINOIS PLUMBING CODE
- 2003 LIFE SAFETY CODE (NFPA 101)
- 2006 INTERNATIONAL FIRE CODE
- 2006 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL ENERGY CODE (ILLINOIS) CONSERVATION CODE
- 2006 INTERNATIONAL MECHANICAL CODE
- 1997 ILLINOIS ACCESSIBILITY CODE
- 2002 NATIONAL FIRE PROTECTION ASSOCIATION 101

**INTERIOR FINISH CLASSIFICATION**

CLASS A:	FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450
CLASS B:	FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450
CLASS C:	FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450
VERTICAL EXITS AND PASSAGEWAYS	COMMON EXIT ACCESS CORRIDORS
CEILING WALLS	B B C
FLOORS	PER ASTM E84 NOT LESS THAN CLASS 2

**LICENSED ARCHITECT:** ILLINOIS 7488  
(SOLE PROPRIETOR) EXPIRES - 11/30/2018  
**REGISTERED INTERIOR DESIGNER:** ILLINOIS 161-001461  
EXPIRES - 08/31/2019



THE INTERIOR DESIGN GROUP LTD.

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DESIGNER: DIANE HANSA

REVIEWER: TIMOTHY R. UES

DRAWN BY: LAUREL A. LANG

REVISED BY:

**MANAGEMENT:**



ELM PLAZA  
908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521

**NOTE:**

CONTRACTOR IS TO PROVIDE A FULL SET OF DRAWINGS TO ALL SUBS.

**NOTE:**

ALL CONTRACTORS ARE RESPONSIBLE FOR READING THROUGH THE NOTES ON THE "N-1" SHEET. ALL INFORMATION OUTLINED IS TO BE INCLUDED IN ALL BIDS.

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**TENANT:**

DR. GIRGIS  
(REMODEL & EXPANSION)

ELM PLAZA  
908 NORTH ELM STREET  
SUITE #306  
HINSDALE, ILLINOIS 60521

EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689

PROJ. NO. 20761-16 R.S.F.

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**TITLE PAGE**

SHEET NO.:

TP-1

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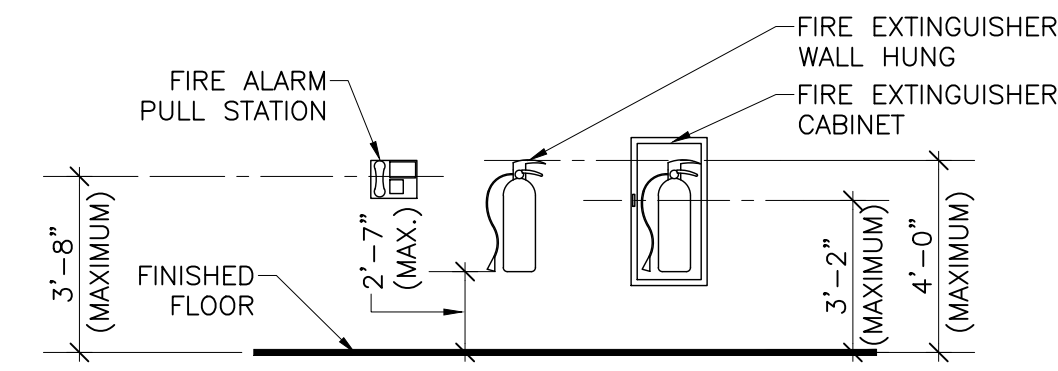
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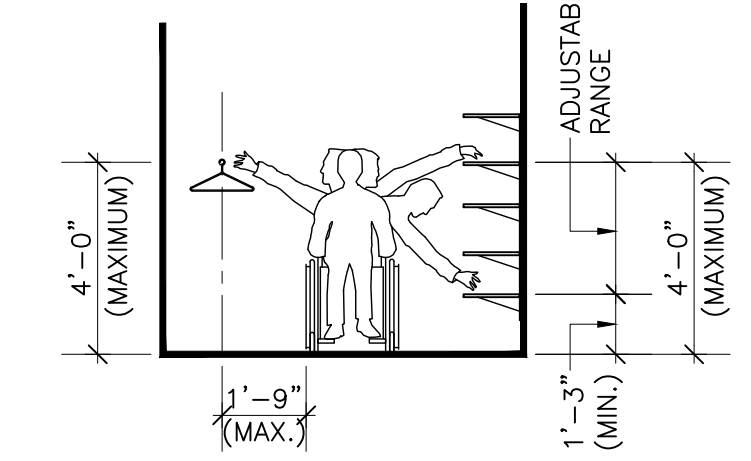
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 <p>THE INTERIOR DESIGN GROUP LTD. 750 WARRENVILLE ROAD   SUITE 103 Lisle, Illinois 60532 PHONE 630   348   0400 FAX 630   348   0388 www.idgtd.com</p> <p>PROJECT DESIGN TEAM: ARCHITECT: LARRY DOHRER DESIGNER: DIANE HANES REVIEWER: TIMOTHY R. LUISA DRAWN BY: LAUREL A. LANG REVISED BY:</p> <p>MANAGEMENT: <b>CBRE</b> ELM PLAZA 908 NORTH ELM STREET HINSDALE, ILLINOIS 60521</p> <p>DR. GIRGIS (REMODEL &amp; EXPANSION) ELM PLAZA 908 NORTH ELM STREET SUITE #304 HINSDALE, ILLINOIS 60521</p> <p>EXISTS: 4.132 EXPANSION: 1.557 TOTAL: 5.689</p> <table border="1"><tr><td>PROJ. NO. 20761-16</td><td>R.S.F.</td></tr><tr><td>SUBMITTED:</td><td>DATE:</td></tr><tr><td>REVISOR:</td><td>DATE:</td></tr><tr><td>FOR PERMIT:</td><td>DATE:</td></tr><tr><td>FOR BID:</td><td>DATE:</td></tr><tr><td>FOR APPROVAL:</td><td>DATE:</td></tr><tr><td>DRAWN:</td><td>DATE:</td></tr><tr><td>SHEET TITLE:</td><td></td></tr><tr><td>NOTES PAGE</td><td></td></tr><tr><td>SHEET NO.:</td><td>N-1</td></tr></table>	PROJ. NO. 20761-16	R.S.F.	SUBMITTED:	DATE:	REVISOR:	DATE:	FOR PERMIT:	DATE:	FOR BID:	DATE:	FOR APPROVAL:	DATE:	DRAWN:	DATE:	SHEET TITLE:		NOTES PAGE		SHEET NO.:	N-1
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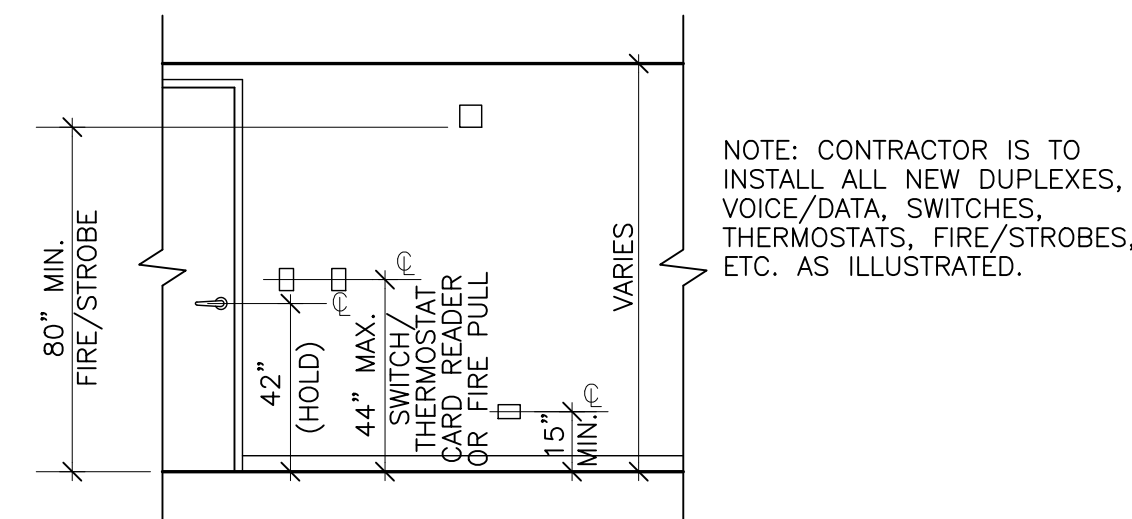
## ACCESSIBLE MOUNTING HEIGHTS



MOUNTING DEVICE HEIGHTS  
SCALE: 1/4"=1'-0"



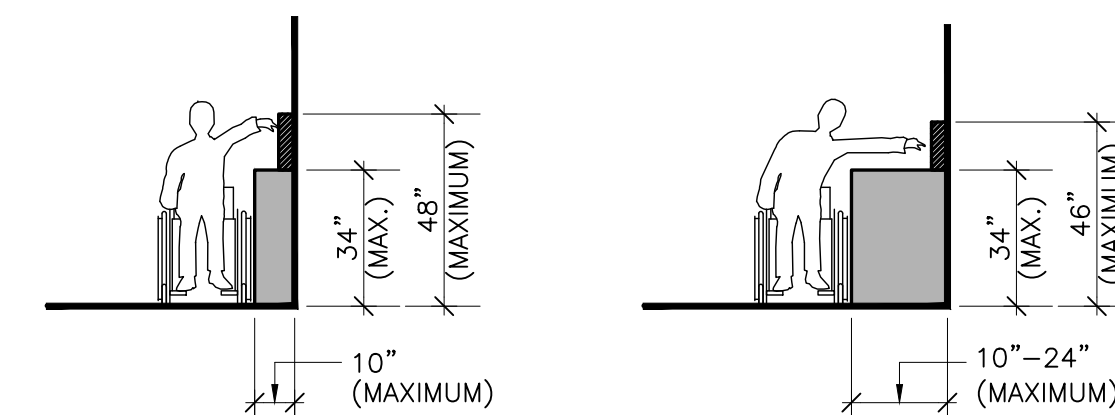
MAXIMUM REACH  
SCALE: 1/4"=1'-0"



ACCESSIBLE ELECTRIC RECEPTACLES  
SCALE: 1/4"=1'-0"

**NOTE:**  
OBSTRUCTION HEIGHT: 34" (MAXIMUM)  
REACH DEPTH 10" OR LESS = 48" HIGH (MAXIMUM)  
REACH DEPTH 10" TO 24" = 46" HIGH (MAXIMUM)

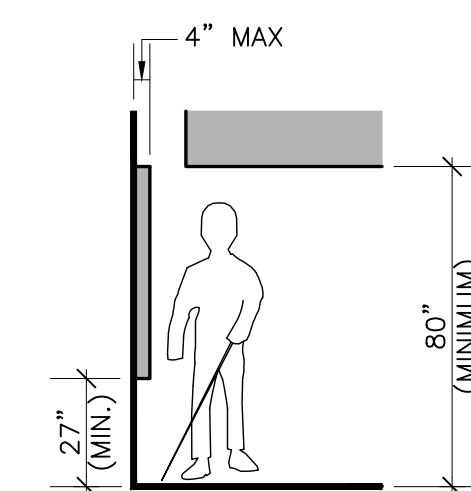
**EXCEPTIONS:**  
1. TOP OF WASHING MACHINES AND DRYERS CAN BE 36" MAX. HIGH.



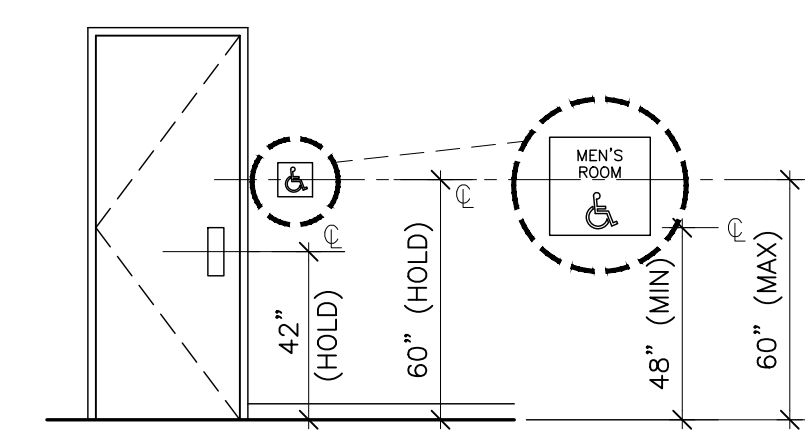
OBSTRUCTED HIGH REACH  
SCALE: 1/4"=1'-0"

**NOTE:**  
OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR SHALL PROTRUDE 4" (MAXIMUM) HORIZONTALLY INTO CIRCULATION PATH.

**EXCEPTION:**  
HANDRAILS ARE PERMITTED TO PROTRUDE 4-1/2" (MAXIMUM)



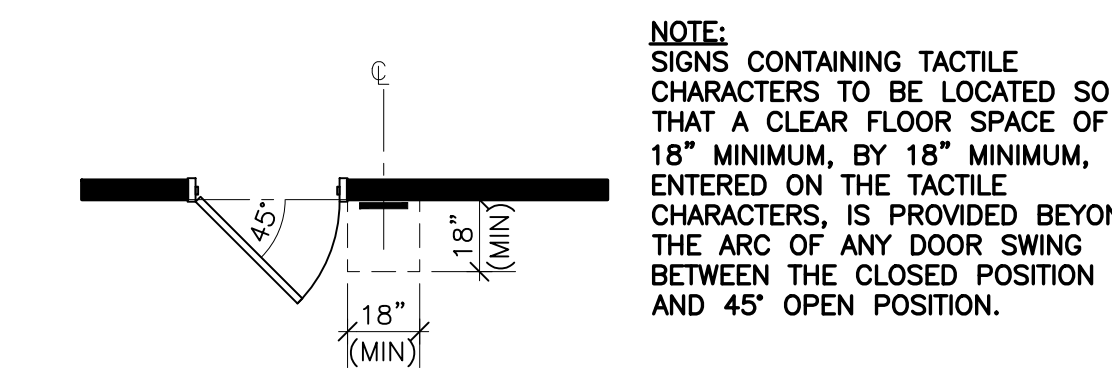
PROTRUSION LIMITS  
SCALE: 1/4"=1'-0"



ACCESSIBLE SIGNAGE LOCATION  
SCALE: 1/4"=1'-0"

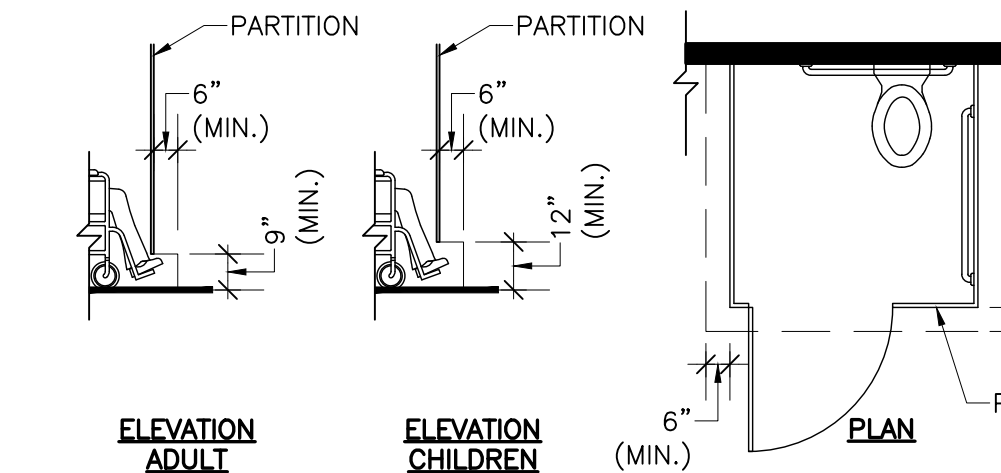
**NOTE:**  
TACTILE SIGNS TO BE INSTALLED ON WALL ALONG SIDE DOOR AT LATCH OR PUSH/PULL SIDE.

- TACTILE SIGNS FOR DOUBLE DOORS WITH ONE INACTIVE LEAF: SIGNS TO BE LOCATED ON INACTIVE LEAF.
- TACTILE SIGNS FOR DOUBLE DOORS WHEN BOTH LEAVES ARE ACTIVE: SIGN IS TO BE LOCATED ON THE WALL TO THE RIGHT OF THE RIGHT HAND DOOR.
- TACTILE EXIT SIGNAGE.
- WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR TO THE RIGHT OF DOUBLE DOORS: SIGNS TO BE LOCATED ON THE NEAREST ADJACENT WALL.



ACCESSIBLE SIGNAGE LOCATION  
SCALE: 1/4"=1'-0"

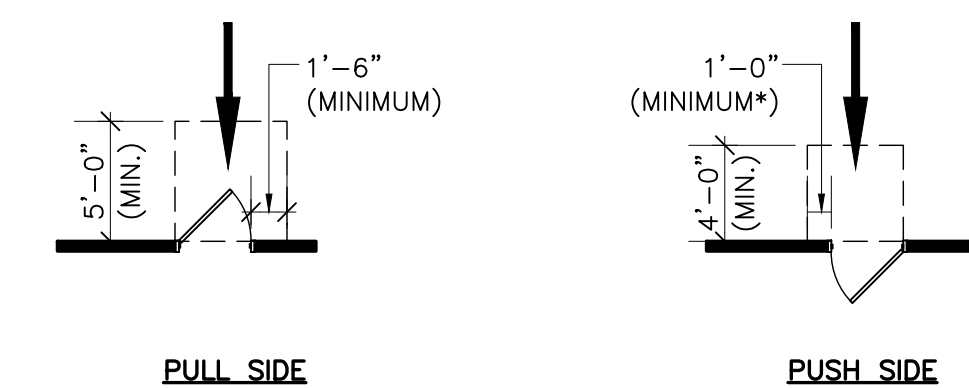
**NOTE:**  
SIGNS CONTAINING TACTILE CHARACTERS TO BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18" MINIMUM, BY 18" MINIMUM, ENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45° OPEN POSITION.



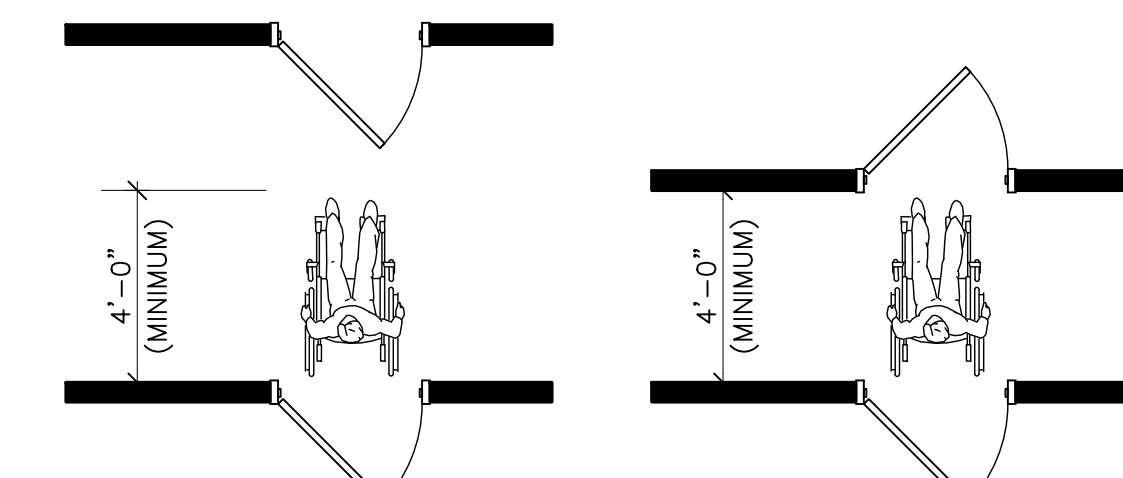
TOE CLEARANCE  
SCALE: 1/4"=1'-0"

**EXCEPTIONS:**  
1. FRONT PARTITION TOE CLEARANCE IS NOT REQUIRED IN COMPART WATER CLOSET OR > 65" DEEP WITH A FLOOR-MOUNTED WATER CL  
2. SIDE PARTITION TOE CLEARANCE IS NOT REQUIRED IN COMPART  
3. FRONT PARTITION TOE CLEARANCE IS NOT REQUIRED IN COMPART

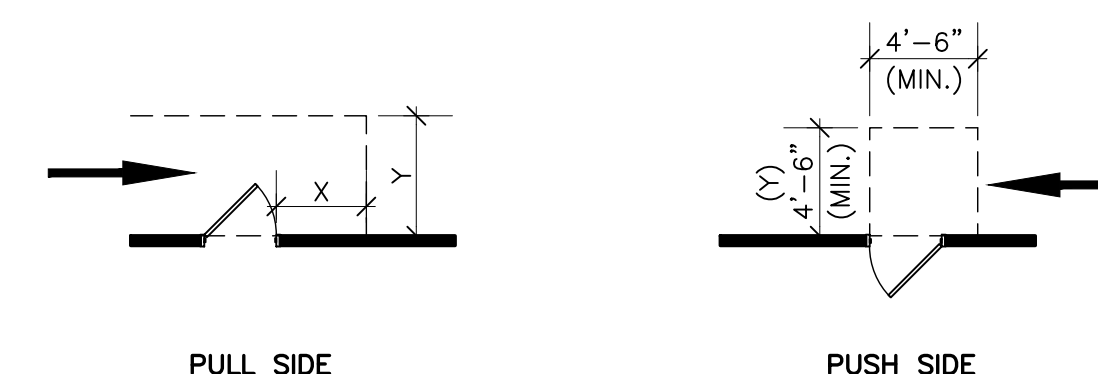
## ACCESSIBILITY CLEARANCES



PULL SIDE  
PUSH SIDE  
\* IF THE DOOR HAS BOTH A CLOSER AND A LATCH  
FRONT APPROACHES - SWINGING DOORS  
SCALE: 1/8"=1'-0"



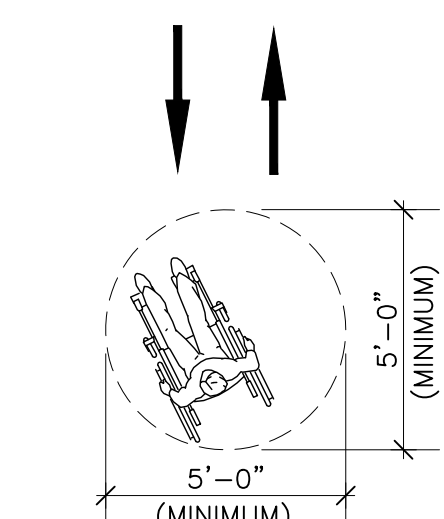
TWO HINGED DOORS IN A SERIES  
SCALE: 1/4"=1'-0"



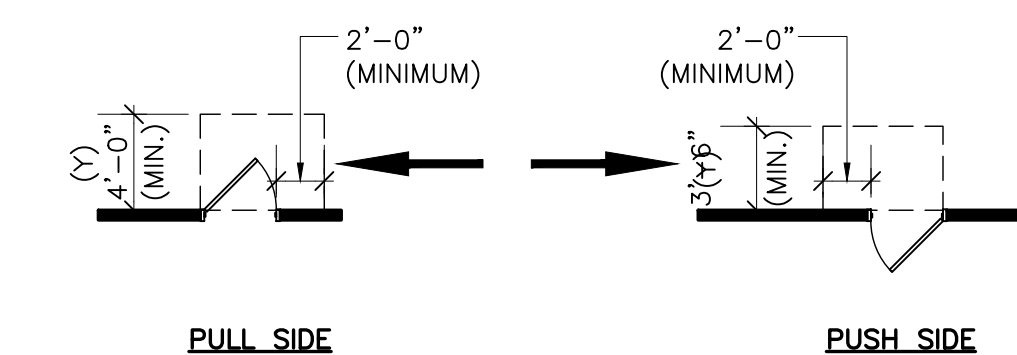
PULL SIDE  
PUSH SIDE  
**NOTE:**  
IF Y=5'-0", THEN X=3'-0" (CLEAR).  
IF Y=4'-6", THEN X=3'-6" (CLEAR).  
IF THE DOOR HAS BOTH A CLOSER AND A LATCH, THEN (Y)=4'-0" (MINIMUM)

HINGE-SIDE APPROACHES - SWINGING DOORS  
SCALE: 1/8"=1'-0"

ALL DOORS IN ALCOVES SHALL COMPLY WITH CLEARANCES FOR FRONT APPROACHES.

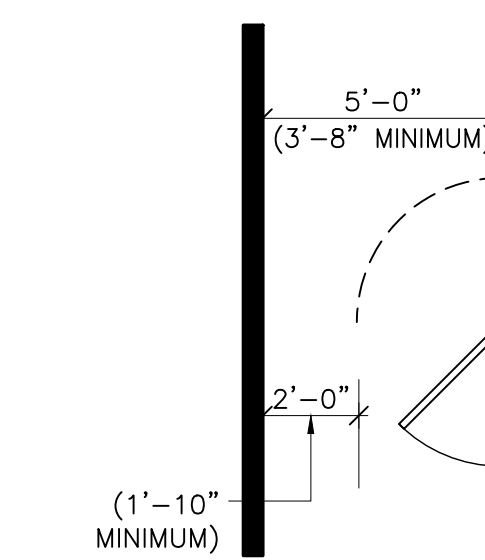


ACCESSIBLE TURNING RADIUS  
SCALE: 1/4"=1'-0"



PULL SIDE  
PUSH SIDE  
**NOTE:**  
Y=4'-6" (MINIMUM) IF DOOR HAS A CLOSER  
**NOTE:**  
Y=4'-0" (MINIMUM) IF DOOR HAS A CLOSER

LATCH-SIDE APPROACHES - SWINGING DOORS  
SCALE: 1/8"=1'-0"



CORRIDOR CLEARANCE  
SCALE: 1/4"=1'-0"

**NOTE:**  
3'-8" (MINIMUM) CORRIDOR WIDTH WITH 1/2 OF CORRIDOR FOR CLEARANCE = 1'-10" (MINIMUM).  
DOOR MUST BE ABLE TO OPEN 180°.



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TYPICAL ACCESSIBILITY CLEARANCES, OUTLET/DEVICE MOUNTING HEIGHTS AND NOTES CONTINUED

SHEET NO.:  
N-2



**KEYNOTES**

1. ON EXISTING WALLS TO REMAIN ALL EXISTING FLOOR BASE IS TO BE REMOVED AND WALLS REPAIRED TO CREATE A SMOOTH SURFACE READY TO RECEIVE NEW FINISHES. SEE FINISH PLANS, SHEETS "FN-1" AND "FN-2", FOR ALL FINISHES AND LOCATIONS.
2. ON ALL EXISTING WALLS TO REMAIN, ALL WALLCOVERING AND WALLCOVERING BORDERS ARE TO BE REMOVED THROUGHOUT TENANT'S EXISTING SPACE AND EXPANSION SPACE, UNLESS OTHERWISE NOTED. REPAIR WALLS AS NECESSARY TO RECEIVE NEW FINISHES. SEE FINISH PLANS, SHEETS "FN-1" AND "FN-2", FOR ALL FINISHES AND LOCATIONS.
3. **TENANT'S EXISTING EXAM ROOMS AND LAB:** WHERE NOTED ON PLAN, EXISTING VINYL TILE FLOORING IS TO REMAIN. FLOORS ARE TO BE PROFESSIONALLY STRIPED AND CLEANED TO LOOK LIKE NEW. SEE FLOOR FINISH PLAN, SHEET "FN-1", FOR ADDITIONAL INFORMATION.
4. **EXPANSION SPACE:** CONTRACTOR IS TO REMOVE ALL VINYL TILE FLOORING. REMOVE EXCESSIVE ADHESIVE TO LEAVE THE FLOOR WITH A SMOOTH LEVEL FINISH. SEE FLOOR FINISH PLAN, SHEET "FN-1", FOR ADDITIONAL INFORMATION.
5. **EXPANSION SPACE:** CONTRACTOR IS TO REMOVE RAISED FLOOR FROM PREVIOUS TENANT'S ROLLING FILE SYSTEM. PATCH FLOOR AS NECESSARY TO LEAVE A SMOOTH LEVEL FINISH.
6. CONTRACTOR IS TO REMOVE EXISTING GLUED DOWN CARPET THROUGHOUT TENANT'S EXISTING SPACE AND EXPANSION SPACE. REMOVE EXCESSIVE ADHESIVE TO LEAVE FLOOR WITH A SMOOTH LEVEL FINISH.

**KEYNOTES**

7. **TENANT'S EXISTING WAITING AREA:** CONTRACTOR IS TO REMOVE EXISTING STONE TILE. REMOVE EXCESSIVE ADHESIVE TO LEAVE FLOOR WITH A SMOOTH LEVEL FINISH.
8. EXISTING TOILET, LAVATORY, GRAB BARS AND MIRROR ARE TO BE REMOVED AND DISPOSED OF. REPAIR WALLS AS NECESSARY TO RECEIVE NEW FINISHES. SEE FINISH PLANS, SHEETS "FN-1" AND "FN-2", FOR ALL FINISHES AND LOCATIONS.
9. WHERE PLUMBING IS TO BE REMOVED IN CONJUNCTION WITH CABINET WORK, PLUMBING CONTRACTOR IS TO COORDINATE ALL WORK WITH DEMOLITION CONTRACTOR. IF NEW PLUMBING IS SPECIFIED, PLUMBING CONTRACTOR SHALL CAP IN A WAY TO EASE LATER WORK.
10. ANY EXISTING PLUMBING NOT BEING REUSED, PLUMBING IS TO BE REMOVED TOTALLY AND BE CAPPED AT SOURCE.
11. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING CABINETS, COUNTERTOPS, SHELVING, WORKSURFACES AND SUPPORTS BELOW, IF APPLICABLE. REPAIR REMAINING WALLS AS NECESSARY TO RECEIVE NEW FINISHES. SEE WALL FINISH PLAN, SHEET "FN-2", FOR MORE INFORMATION.
12. CONTRACTOR IS TO REMOVE AND DISPOSE OF PREVIOUS TENANT'S PHONE EQUIPMENT AND ALL LOW VOLTAGE CABLES, TIES AND RECEPTACLES.
13. ALL EXISTING ELECTRIC/VOICE/DATA OUTLETS NOTED TO BE REMOVED IN PARTITIONS TO REMAIN, CONTRACTOR IS TO REMOVE ALL CONDUIT, JUNCTION BOXES AND WIRING BACK TO SOURCE AND THE PARTITIONS REPAIRED AS NECESSARY TO LOOK NEW.

**KEYNOTES**

14. ALL EXISTING ELECTRIC/VOICE/DATA OUTLETS BEING REMOVED DUE TO DEMOLITION OF A WALL/PARTITION, CONTRACTOR IS TO REMOVE ALL CONDUIT, JUNCTION BOXES AND WIRING BACK TO SOURCE.
15. CONTRACTOR IS TO REMOVE ALL LOW HEIGHT PARTITIONS, WOOD TOP CAPS AND PLANTER. REPAIR REMAINING WALLS, AS NECESSARY TO RECEIVE NEW FINISHES.
16. WHERE NOTED AS REMOVED, CONTRACTOR IS TO CAREFULLY REMOVE DOOR ASSEMBLY AND STORE ON SITE FOR RE-USE IN NEW LAYOUT. SEE CONSTRUCTION PLAN, SHEET "A-2", FOR NEW LOCATION.
17. WHERE NOTED AS REMOVED, CONTRACTOR IS TO REMOVE AND COORDINATE STORAGE AND/OR DISPOSAL WITH BUILDING MANAGEMENT.
18. CONTRACTOR IS TO REMOVE AND DISPOSE OF EXISTING ELECTRIC WATER HEATER AND ALL CONNECTIONS BACK TO SOURCE. COORDINATE DISPOSAL WITH BUILDING MANAGEMENT.
19. CONTRACTOR IS TO REMOVE WALL MOUNTED DIFIBRILLATOR. COORDINATE STORAGE/DISPOSAL WITH BUILDING MANAGEMENT.
20. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL EXISTING CHAIR RAIL.
21. CONTRACTOR IS TO REMOVE VINYL COMPOSITION TILE IN EXISTING EMPLOYEE WASHROOM. REMOVE ALL ADHESIVE LEAVING THE FLOOR SMOOTH AND LEVEL, READY FOR NEW FLOORING.
22. **PRICE AS ALTERNATE:** REMOVE EXISTING X-RAY BOXES AND ALL RELATED ELECTRIC BACK TO SOURCE. PATCH AND REPAIR WALLS AS NECESSARY TO RECEIVE NEW FINISHES.

**SHEET NOTES**

1. CONTRACTOR IS **NOT** TO DISABLE ANY EXISTING FIRE SPRINKLER SYSTEM IN ANY PART OF THE BUILDING, AT ANY TIME, WITHOUT PERMISSION OF THE HINSDALE FIRE DEPARTMENT.
2. CONTRACTOR IS **NOT** TO DISABLE ANY EXISTING LIFE SAFETY DEVICE WITHOUT PRIOR NOTIFICATION TO THE VILLAGE/CITY. THIS INCLUDES FIRE HORNS AND STROBES, BATTERY PACKS, AND 24 HOUR LIGHT FIXTURES.
3. WHERE REPAIR OF PERIMETER WALLS IS NOTED TO OCCUR, ANY/ALL EXPOSED CAVITIES SHALL BE FILLED WITH SOLID INSULATION.
4. CONTRACTOR IS TO REPAIR ANY PENETRATIONS THROUGH RATED WALLS, FLOOR AND/OR DECK WITH CONSTRUCTION TYPES AND MATERIALS WHICH MATCH EXISTING.
5. PROVIDE FIRE EXTINGUISHERS THROUGHOUT FLOOR DURING DEMOLITION/RENOVATION WITH A MINIMUM RATING OF 3A40BC; FOLLOW NFPA GUIDELINES FOR SPACING.
6. MAINTAIN RATING OF THE STAIRWELL AND ELEVATOR LOBBY THROUGHOUT DEMOLITION/CONSTRUCTION.
7. ALL ONE-HOUR RATED PARTITIONS NOTED TO REMAIN SHALL BE MAINTAINED OR RESTORED TO THEIR CURRENT RATING DURING DEMOLITION.
8. CONTRACTOR IS TO PROVIDE FIRE EXTINGUISHERS IN SUITE DURING DEMOLITION/CONSTRUCTION, AS REQUIRED.

**DEMOLITION LEGEND**

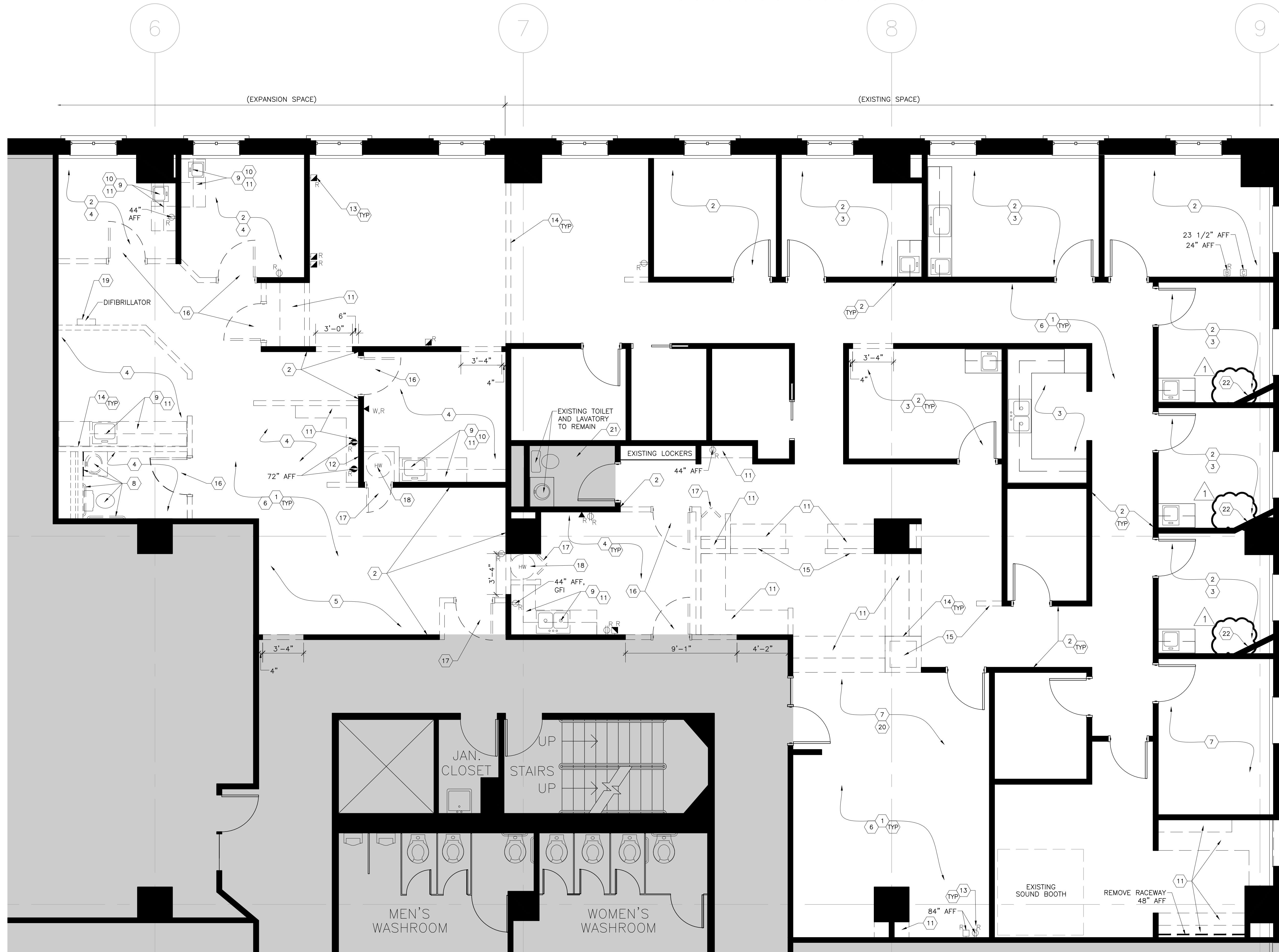
	BUILDING CORE OR EXISTING PARTITION TO REMAIN
	EXISTING INTERIOR PARTITION TO BE DEMOLISHED
	EXISTING ITEM TO BE REMOVED
R	EXISTING TO BE REMOVED
	DUPLEX WALL OUTLET
	QUADRAPLEX WALL OUTLET ON DEDICATED CIRCUIT
	TELEPHONE WALL OUTLET
	VOICE/DATA JUNCTION BOX
	ELECTRICAL JUNCTION BOX FOR CALL BUTTON
	ELECTRICAL JUNCTION BOX FOR COAXIAL CABLE
	SURFACE MOUNTED RACEWAY
GFI	OUTLET ON GROUND FAULT INTERRUPTER
W	WALL OUTLET MOUNTED 48" A.F.F. MAXIMUM
AFF	ABOVE FINISHED FLOOR



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 DRAWN BY: LAUREL A. LANG  
 REVISED BY:

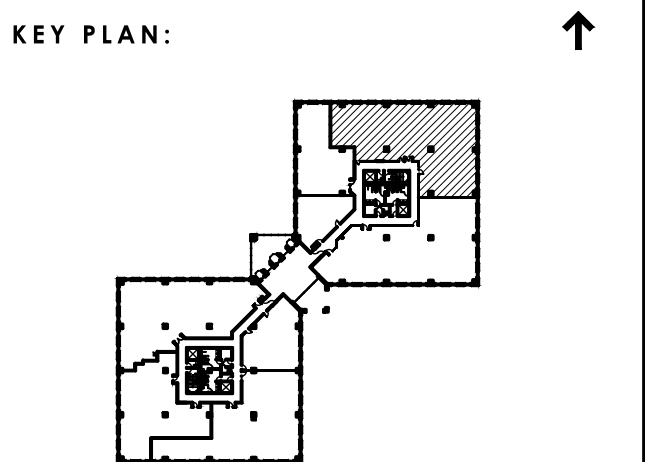
**MANAGEMENT:**  
  
 ELM PLAZA  
 908 NORTH ELM STREET  
 HINSDALE, ILLINOIS 60521



**NOTE:**  
 ALL AREAS ILLUSTRATED WITH A HATCH ARE NOT INCLUDED IN THIS CONTRACT.

THIRD FLOOR – EAST WING – DEMOLITION PLAN

SCALE: 1/4"=1'-0"



**TENANT:**  
 DR. GIRGIS  
 (REMODEL & EXPANSION)  
 ELM PLAZA  
 908 NORTH ELM STREET  
 SUITE #304  
 HINSDALE, ILLINOIS 60521

EXISTING: 4,132	R.S.F.
EXPANSION: 1,557	
TOTAL: 5,689	
PROJ. NO. 20761-16	
SUBMITTED: _____	DATE: _____
REVISED FOR BID: 08 04 18	
FOR PERMIT: 07 20 18	
FOR BID: 07 20 18	
FOR APPROVAL: 07 20 18	
DRAWN: 06 01 18	
SHEET TITLE:	

THIRD FLOOR - EAST WING  
 DEMOLITION PLAN

**1. KEYNOTES**

1. WHERE DEMOLITION OCCURRED, GENERAL CONTRACTOR IS TO PATCH AND REPAIR REMAINING WALLS AS NECESSARY TO A SMOOTH SURFACE, READY FOR NEW FINISHES.
- 2a. GENERAL CONTRACTOR IS TO INSPECT EXISTING PARTITIONS TO VERIFY IF THEY ARE CEILING HEIGHT. IF SO, REWORK/EXTEND WALL CONSTRUCTION, AS REQUIRED, TO BE FLOOR TO DECK ABOVE AND A ONE (1) HOUR RATED DEMISING WALL.
- 2b. EXISTING WALL IS CEILING HEIGHT. GENERAL CONTRACTOR IS TO INSPECT EXISTING PARTITIONS FOR SOUND BATT INSULATION AND ADD NEW INSULATION IF NECESSARY.
3. GENERAL CONTRACTOR IS TO PROVIDE FIRE RATED WOOD BLOCKING IN THE WALL FOR A NEW WALL MOUNTED HIGH EFFICIENCY "ON DEMAND" WATER HEATER. WATER HEATER IS TO BE LOCATED ON WALL AS HIGH AS POSSIBLE TO STILL MAINTAIN A.D.A. COMPLIANCE.
4. PLUMBING CONTRACTOR IS TO SEE MECHANICAL DRAWINGS FOR ALL REQUIREMENTS FOR HIGH EFFICIENCY "ON DEMAND" WATER HEATER
5. GENERAL CONTRACTOR SHALL DRILL INTO EXISTING CONCRETE SLAB AS REQUIRED FOR UNDERSLAB WORK. LOCATE ALL EXISTING UNDERSLAB PIPING AND CONDUIT PRIOR TO WORK TO AVOID DAMAGE. IF UNDERSLAB PIPING OR CONDUIT IS DAMAGED, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE DAMAGED ITEM(S). AFTER UNDERSLAB WORK IS COMPLETED PATCH SLAB AS REQUIRED WITH A NON-SHRINKING CONCRETE PATCH TO A SMOOTH, UNDETECTABLE FINISH. SEE ELECTRIC/VOICE/DATA PLAN, SHEET "AE-1", FOR FLOOR CORE LOCATIONS.

**KEYNOTES**

6. WHERE DEMOLITION OCCURRED, GENERAL CONTRACTOR IS TO PROVIDE A DRYWALL WRAPPED HEADER 2" BELOW THE FINISHED CEILING GRID TO SEPARATE ADJACENT GRIDS, AS SHOWN ON PLAN. SEE SHEETS "AE-3" AND "AE-4" FOR MORE INFORMATION.
7. PLUMBING CONTRACTOR SHALL PROVIDE 3/8" COPPER TUBING, PRESSURE AND SHUT-OFF VALVES, AS REQUIRED BY ALL GOVERNING CODES, FOR TENANT'S COFFEE MAKER AND ICE MAKER. SEE CONSTRUCTION PLAN FOR EXACT LOCATIONS.
8. GENERAL CONTRACTOR IS TO PROVIDE 3/4" FIRE RETARDANT TREATED PLYWOOD SHEET ON WALL FOR TELEPHONE EQUIPMENT. PAINT TO MATCH ADJACENT WALL. VERIFY SIZE AND LOCATION WITH TENANT'S TELEPHONE DATA GENERAL CONTRACTOR. GENERAL CONTRACTOR IS NOT TO PAINT OVER FIRE LABEL.
9. GENERAL CONTRACTOR IS TO PROVIDE FIRE EXTINGUISHERS. IDG'S LOCATIONS ARE FOR REFERENCE ONLY. FINAL FIRE EXTINGUISHER QUANTITY AND LOCATIONS ARE SUBJECT TO APPROVAL OF THE FIRE PREVENTION AGENCY HAVING JURISDICTION.
10. GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL FIRE RATED BACKER BOARD FOR TENANT'S FLAT SCREEN MONITOR AND WALL MOUNTED SCOPE. CENTER 30" X 36" BACKER BOARD IN WALL STARTING 48" ABOVE FINISHED FLOOR. VERIFY SIZE OF BACKER BOARD REQUIRED FOR TENANT'S EXAM SCOPE PRIOR TO THE START OF CONSTRUCTION.
11. ALL NEW DOOR ASSEMBLIES THAT ARE INSTALLED WITHIN A HOUR RATED PARTITION ARE TO HAVE A 20 MINUTE FIRE RATING.

**KEYNOTES**

12. **EXISTING INTERIOR DOOR ASSEMBLY #301B:** GENERAL CONTRACTOR IS TO REPLACE EXISTING DOOR CLOSER WITH A NEW CLOSER THAT HAS A "HOLD OPEN" FUNCTION. HARDWARE IS TO MEET ACCESSIBILITY NOTES #1, #11 AND #12, ON SHEET "N-1" UPON COMPLETING PROJECT.
13. DOOR ASSEMBLIES #301A, #318A AND #335A ARE TO RECEIVE STANDARD ELECTRONIC STRIKES WITHIN THE RECEIVING HARDWARE FOR A DOOR RELEASE MECHANISM. DOOR RELEASE IS TO BE WIRED TO A DOOR "OPEN" BUTTON LOCATED NEAR EACH DOOR. DOOR IS TO "OPEN" TO A 90 DEGREE POSITION ONCE RELEASED FROM ELECTRONIC STRIKE. PROVIDE AND INSTALL ELECTRONIC DOOR STRIKES, JUNCTION BOXES AND PNEUMATIC DOOR CLOSERS, AS REQUIRED. DOOR CLOSER IS TO MEET REQUIREMENTS OUTLINED IN ACCESSIBILITY NOTES #1, #11 AND #12 ON SHEET "N-1". SEE ELECTRIC/VOICE/DATA PLAN, SHEET "AE-1", FOR ADDITIONAL INFORMATION.
14. GENERAL CONTRACTOR IS TO PROVIDE TACTILE EXIT SIGNS AT ENTRY/EGRESS DOORS #301A, #318A AND #335A AND INTERIOR DOORS #334A AND #301B. REFER TO SHEET "N-2" FOR MORE INFORMATION.
15. **DOUBLE BI-PASS DOOR ASSEMBLY #322A AND #322B:** GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL ONE (1) METAL LOUVER (12" WIDE X 12" HIGH) INTO 1 DOOR LEAF ONLY OF EACH ASSEMBLY. METAL LOUVER TO BE INSTALLED 1'-0" FROM THE BOTTOM OF THE LEAF. SEE DOOR ELEVATION "B" ON SHEET "A-4" FOR MORE INFORMATION.

**KEYNOTES**

16. DOOR #322B FOR ROOM #332 (IT CLOSET) DOES NOT REQUIRE FULL USER PASSAGE, AS IT IS A SHALLOW CLOSET. THE CLEAR OPENING WILL BE GREATER THAN THE 20" MINIMUM ALLOWANCE.
17. **POCKET DOORS #304A, #316A AND #338A:** PROVIDE A.D.A. COMPLIANT POCKET DOOR HARDWARE WITH PASSAGE FUNCTION.  
MFR: TRIMCO  
SERIES: 1069  
FINISH: 605 (POLISHED BRASS)

**PRICE AS ALTERNATE:**  
GENERAL CONTRACTOR IS TO PROVIDE AN ALTERNATE PRICE TO REPLACE ALL INTERIOR DOOR HARDWARE WITH NEW BRUSHED ALUMINUM HARDWARE. ALL ENTRY/EGRESS DOOR HARDWARE ON CORRIDOR SIDE ARE TO REMAIN BRASS.

**SHEET NOTES**

1. ALL FINISHES TO BE SELECTED BY THE INTERIOR DESIGN GROUP, LTD. AND COORDINATED WITH THE TENANT AND BUILDING MANAGEMENT. SEE FINISHED PLANS, SHEETS "FN-1" AND "FN-2", FOR ALL FINISHES AND LOCATIONS.
2. DISHWASHER IS TO BE SUPPLIED BY TENANT AND INSTALLED BY GENERAL CONTRACTOR AND/OR HIS SUB-CONTRACTORS.
3. GENERAL CONTRACTOR SHALL DO ALL CORRIDOR WORK NECESSARY TO COMPLETE THIS PROJECT UNDER THIS CONTRACT.
4. GENERAL CONTRACTOR IS TO PROVIDE FIRE EXTINGUISHERS IN SUITE DURING CONSTRUCTION. WITH A MINIMUM RATING OF 3A40BC; FOLLOW NFPA GUIDELINES FOR SPACING. SEE SHEET "N-2" FOR MOUNTING HEIGHT INFORMATION.
5. GENERAL CONTRACTOR IS TO REFER TO MEP PLUMBING DRAWINGS, BY OTHERS, FOR SPECIFIC INFORMATION.
6. GENERAL CONTRACTOR IS TO VERIFY THAT ALL HARDWARE CONFORMS TO ALL LOCAL, STATE, FEDERAL, MUNICIPALITY CODES, AND THE ILLINOIS ACCESSIBILITY CODES, WHICHEVER IS MOST STRINGENT.
7. GENERAL CONTRACTOR IS TO CLEAN, PATCH AND/OR REPAIR ALL DOORS THAT APPEAR TO BE DAMAGED, CHIPPED OR DIRTY. REPAIR/RESTAIN ALL DOORS TO LOOK NEW AND TO MATCH EXISTING IN SPACE.
8. **ALL EXISTING, RELOCATED AND NEW DOORS USED IN CONJUNCTION WITH EXITS ARE TO BE READILY OPENED FROM THE EGRESS SIDE WITHOUT A KEY, UNDUE FORCE OR SPECIAL KNOWLEDGE ALLOWING FREE PASSAGE OUT OF THE SUITE AT ALL TIMES.**

**ROOM SCHEDULE**

NUMBER	ROOM NAME
301	WAITING ROOM
302	CONSULT ROOM
303	AUDIOLOGY (EXISTING)
304	SHARED OFFICE
305	CONSULT ROOM
306	EXAM ROOM (EXISTING)
307	EXAM ROOM (EXISTING)
308	EXAM ROOM (EXISTING)
309	CORRIDOR
310	PHOTO ROOM (EXISTING)
311	LAB (EXISTING)
312	SHARED OFFICE
313	EXAM ROOM (EXISTING)
314	EXAM ROOM (EXISTING)
315	PRIVATE OFFICE (EXISTING)
316	CORRIDOR
317	EXAM ROOM (EXISTING)
318	CORRIDOR
319	COATS
320	RECEPTION
321	STORAGE CLOSET
322	IT CLOSET
323	COAT WASHROOM (EXISTING)
324	COAT CLOSET
325	BREAK ROOM
326	ADMIN OFFICE (EXISTING)
327	ADMIN OFFICE (EXISTING)
328	ADMIN OFFICE (EXISTING)
329	BILLING/BUSINESS OFFICE
330	AUDIOLOGY BOUQUETTE
331	EXAM ROOM
332	TESTING ROOM
333	SHOTS ROOM
334	WAITING ROOM
335	WAITING ROOM
336	RECEPTION
337	AUDIOLOGY OFFICE
338	STAFF MEETING ROOM
339	WATER HEATER CLOSET

**WALL LEGEND**

- BUILDING CORE OR EXISTING PARTITION TO REMAIN
- NEW 1 HOUR FIRE RATED DEMISING PARTITION, FLOOR TO UNDERSIDE OF DECK ABOVE
- NEW INTERIOR PARTITION, FLOOR TO UNDERSIDE OF FINISHED CEILING
- NEW INTERIOR PARTITION, WITH INSULATION, FLOOR TO UNDERSIDE OF DECK ABOVE, NON RATED
- EXISTING INTERIOR PARTITION, RETROFITTED WITH INSULATION, FLOOR TO UNDERSIDE OF DECK ABOVE, NON RATED
- GLASS PARTITION

**CONSTRUCTION LEGEND**

- EXISTING DOOR ASSEMBLY
- NEW DOOR ASSEMBLY
- ROOM/SPACE NO.
- DOOR TAG - SEE DOOR SCHEDULE
- BUILDING STANDARD HANG ROD AND HAT SHELF
- COLD WATER LINE
- ABOVE FINISHED FLOOR
- FIRE EXTINGUISHER
- DIMENSION STARTING POINT LOCATIONS



**THE INTERIOR DESIGN GROUP LTD.**  
750 WARRENVILLE ROAD | SUITE 103  
LISLE, ILLINOIS 60332  
PHONE 630 | 348 | 0400  
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www.idglltd.com

**PROJECT DESIGN TEAM:**

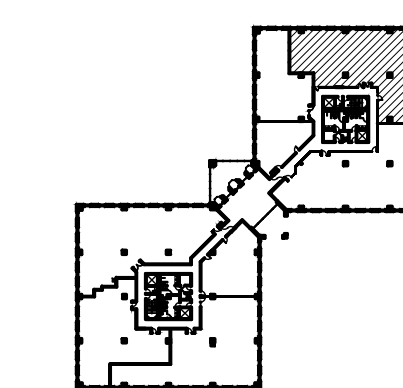
ARCHITECT: LARRY DOHRER  
DESIGNER: DIANE HANSA  
REVIEWER: TIMOTHY R. LIES  
DRAWN BY: LAUREL A. LANG  
REVISED BY:

**MANAGEMENT:**



ELM PLAZA  
908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521

**KEY PLAN:**



**TENANT:**

**DR. GIRGIS (REMODEL & EXPANSION)**

ELM PLAZA  
908 NORTH ELM STREET  
SUITE #304  
HINSDALE, ILLINOIS 60521

EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689

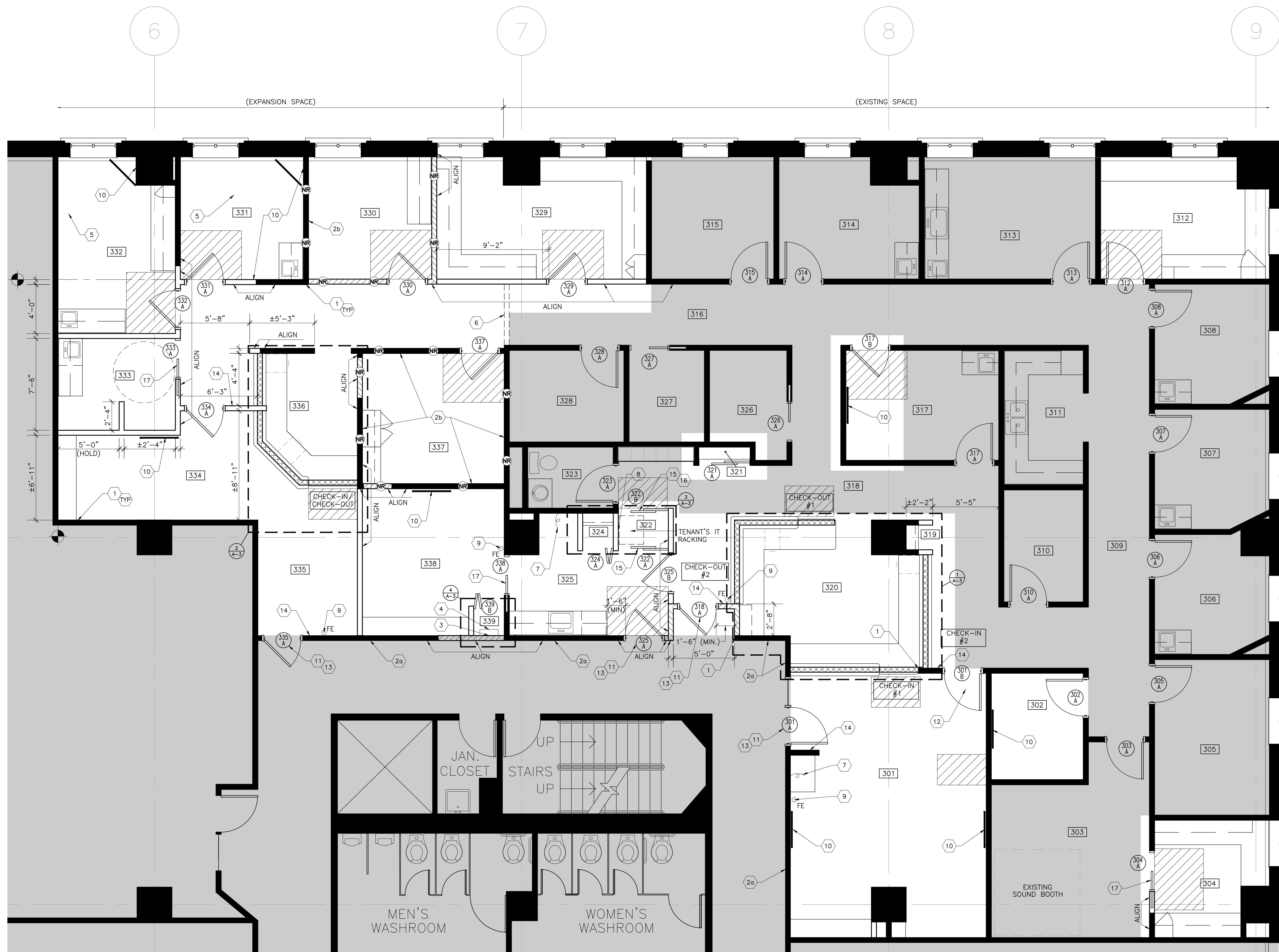
PROJ. NO. 20761-16 R.S.F.  
SUBMITTED: DATE:

REVISED FOR BID: 08|04|18  
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FOR APPROVAL: 07|20|18  
DRAWN: 06|01|18

SHEET TITLE:

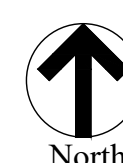
THIRD FLOOR - EAST WING  
CONSTRUCTION PLAN

SHEET NO. A-2



THIRD FLOOR – EAST WING – CONSTRUCTION PLAN

SCALE: 1/4"=1'-0"



**NOTE:**  
ALL AREAS ILLUSTRATED WITH A HATCH ARE NOT INCLUDED IN THIS CONTRACT.



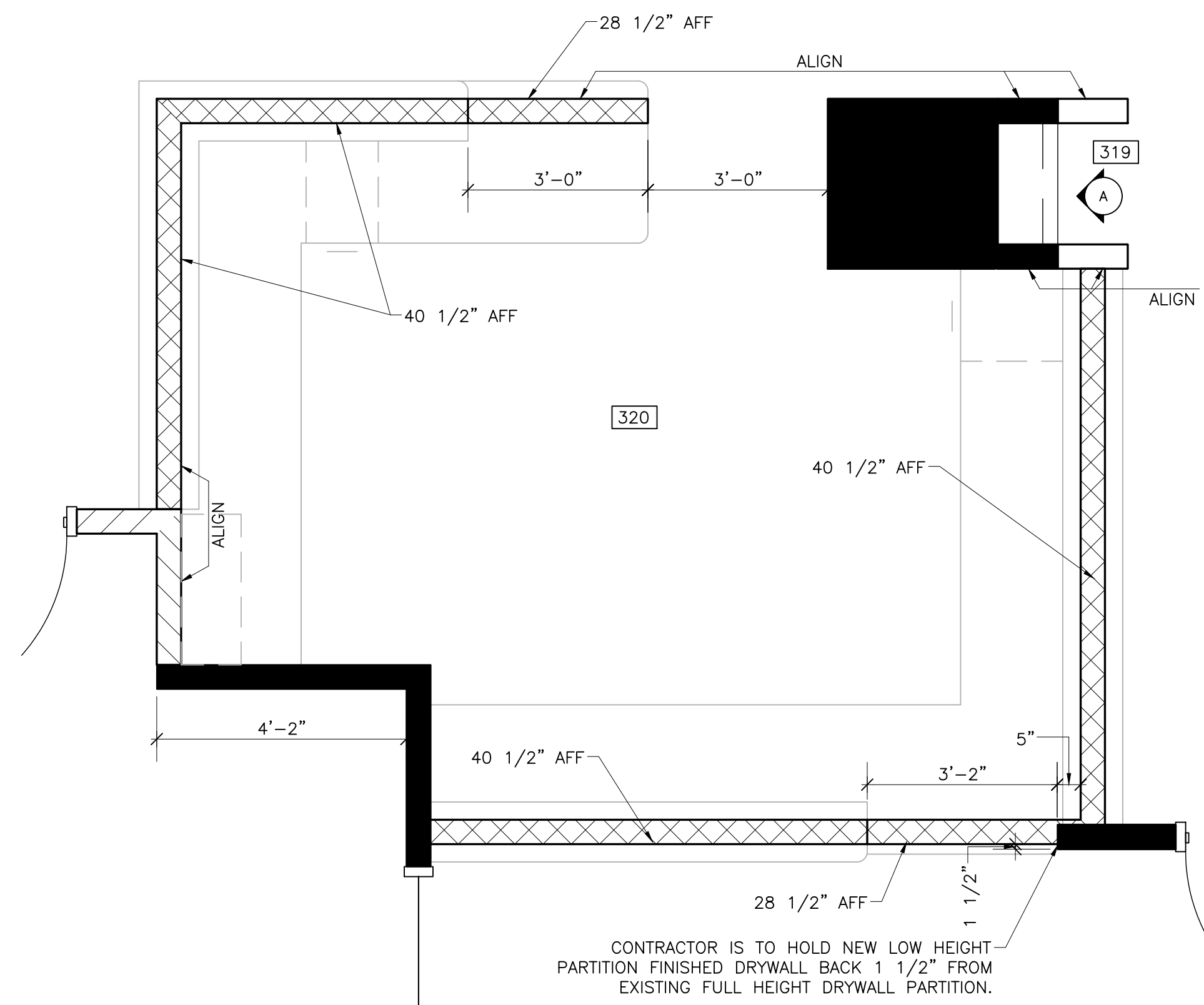
THE INTERIOR DESIGN GROUP LTD.  
 750 WARRENVILLE ROAD | SUITE 103  
 Lisle, ILLINOIS 60532  
 PHONE 630 | 348 | 0400  
 FAX 630 | 348 | 0388  
 www.idgtd.com

PROJECT DESIGN TEAM:

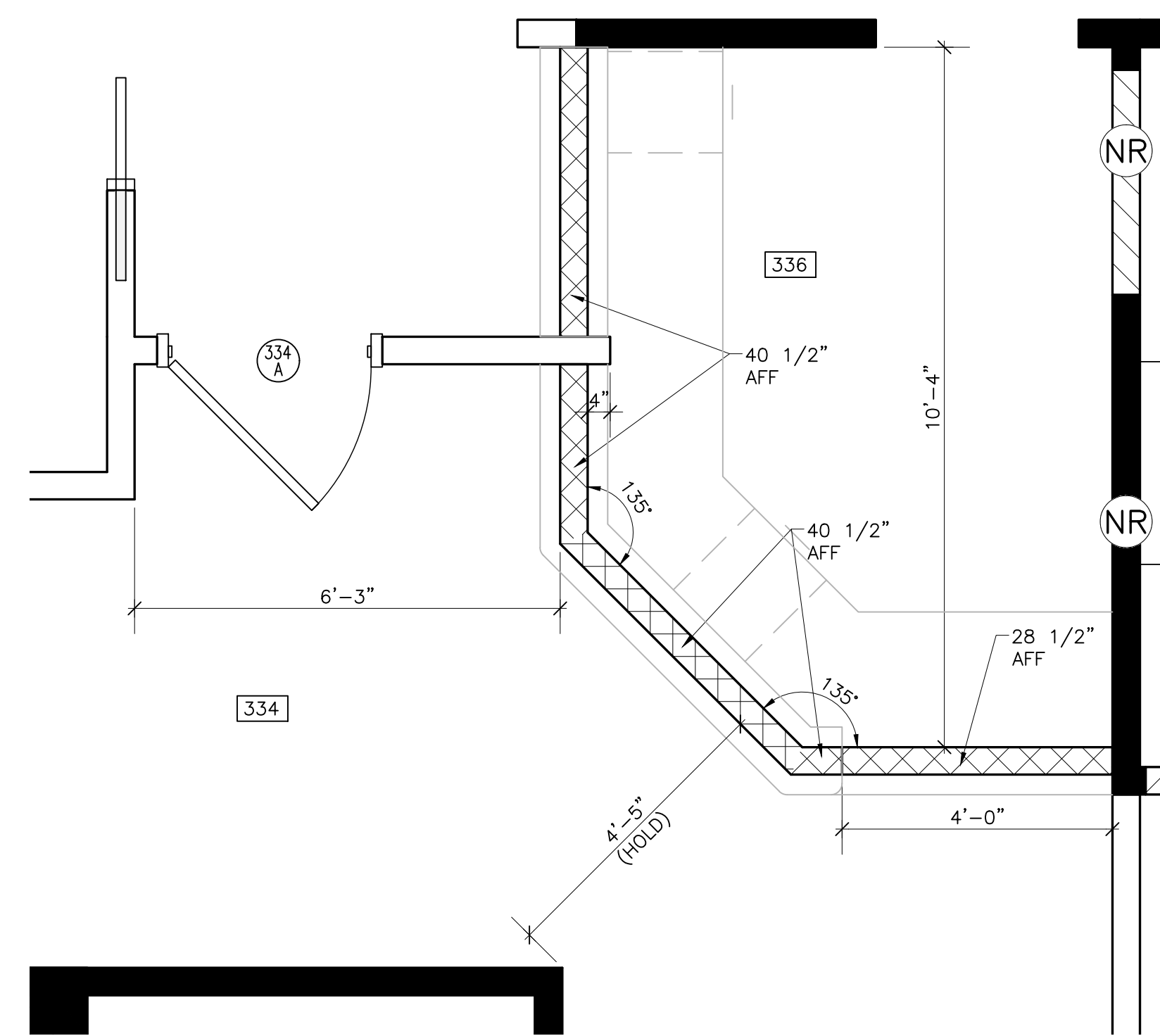
ARCHITECT: LARRY DOHRER  
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 REVIEWER: TIMOTHY R. LIES  
 DRAWN BY: LAUREL A. LANG  
 REVISED BY:

MANAGEMENT:

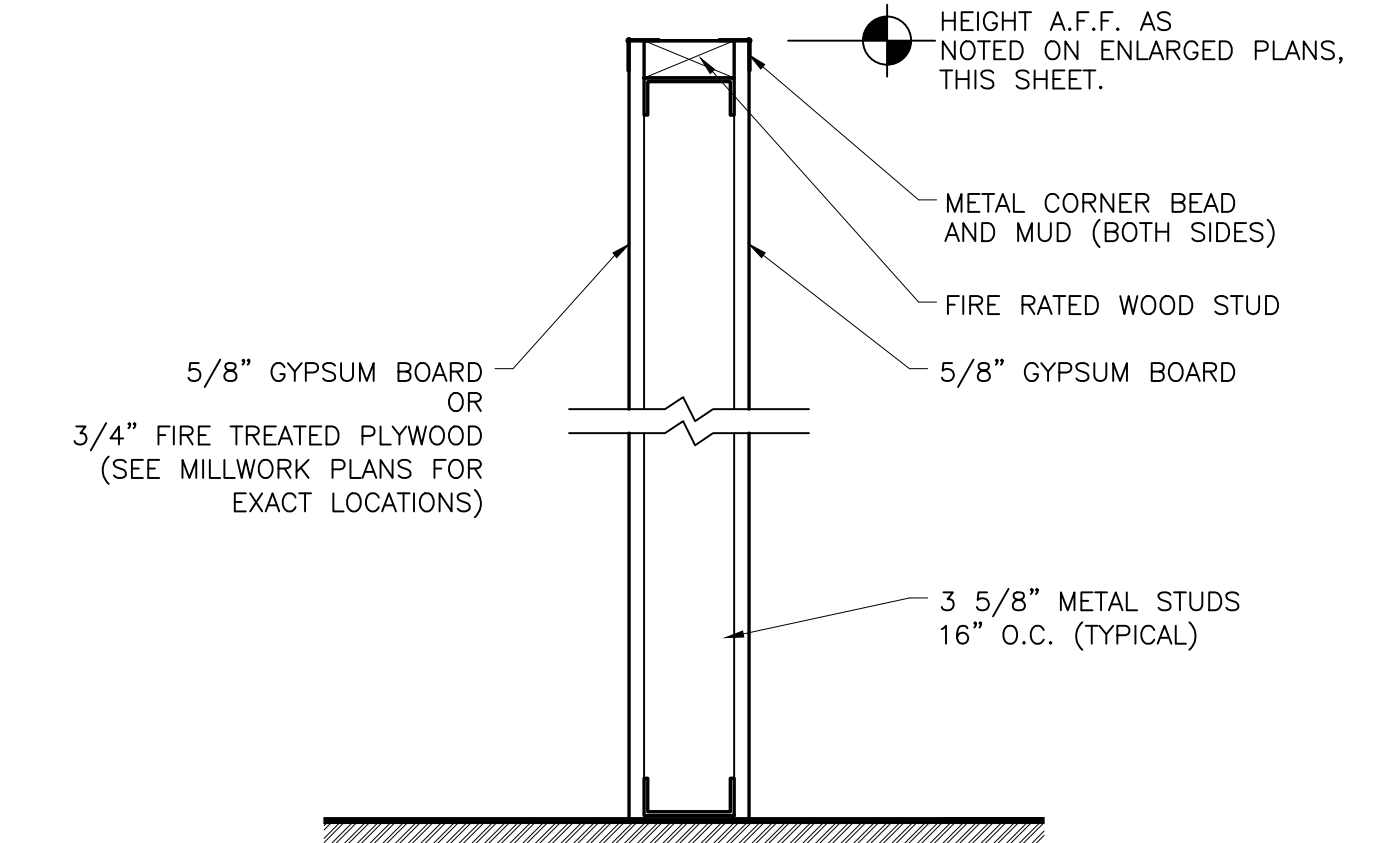
**CBRE**  
 ELM PLAZA  
 908 NORTH ELM STREET  
 HINSDALE, ILLINOIS 60521



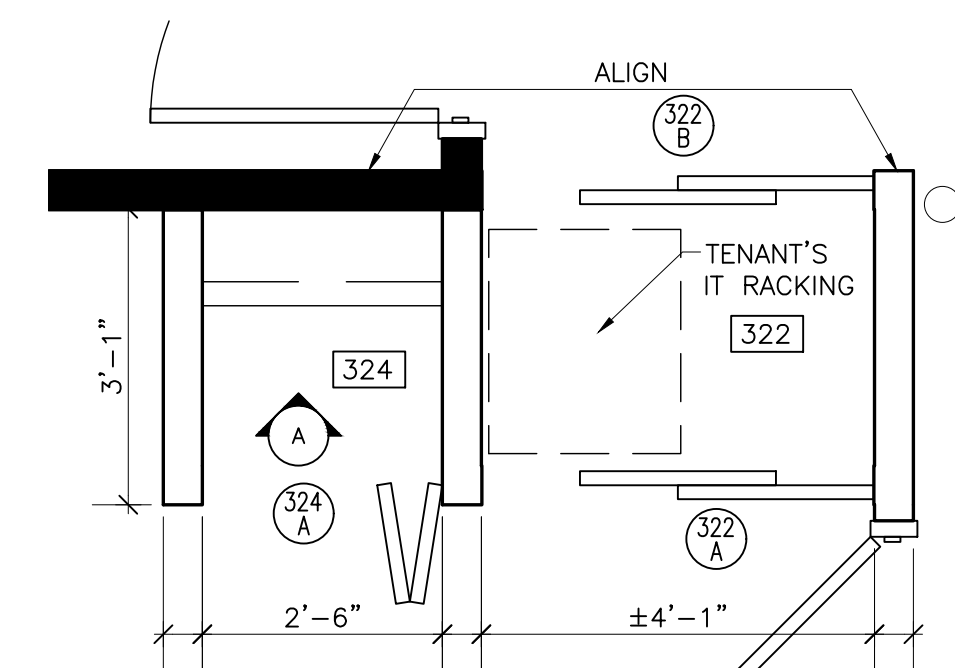
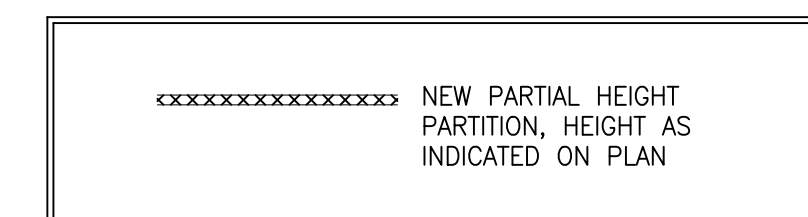
1 ENLARGED PLAN VIEW - RECEPTION #320/COAT CLOSET #319 (LOW HEIGHT PARTITIONS) SCALE: 1/2" = 1'-0"



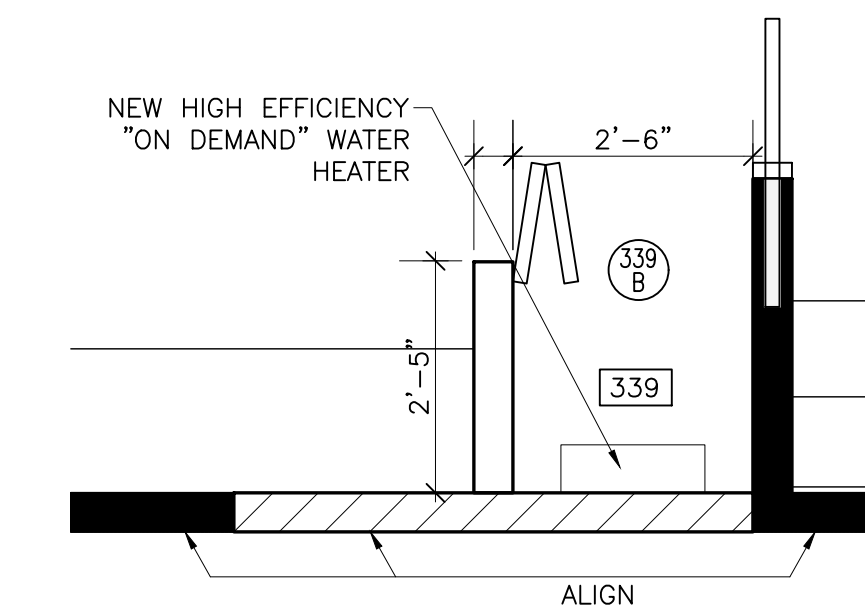
2 ENLARGED PLAN VIEW - RECEPTION #336 (LOW HEIGHT PARTITIONS) SCALE: 1/2" = 1'-0"



SECTION - PARTIAL HEIGHT PARTITION SCALE: 1 1/2" = 1'-0"



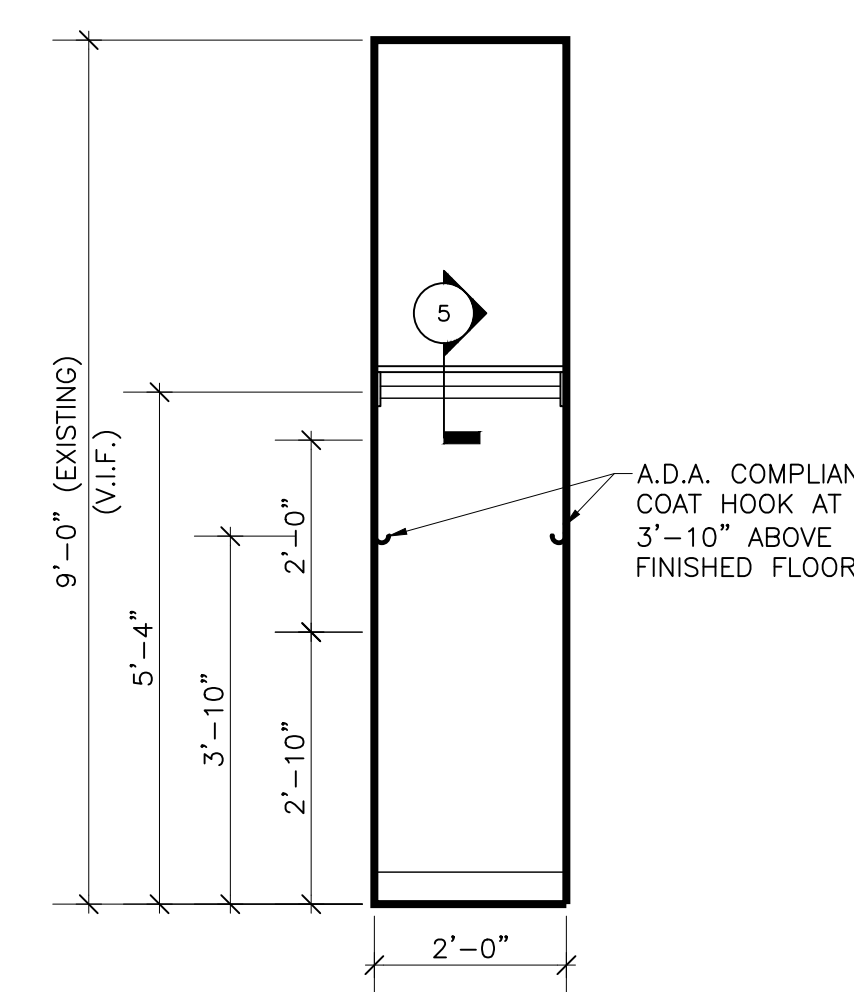
3 ENLARGED PLAN VIEW - IT CLOSET #322/COAT CLOSET #324 SCALE: 1/2" = 1'-0"



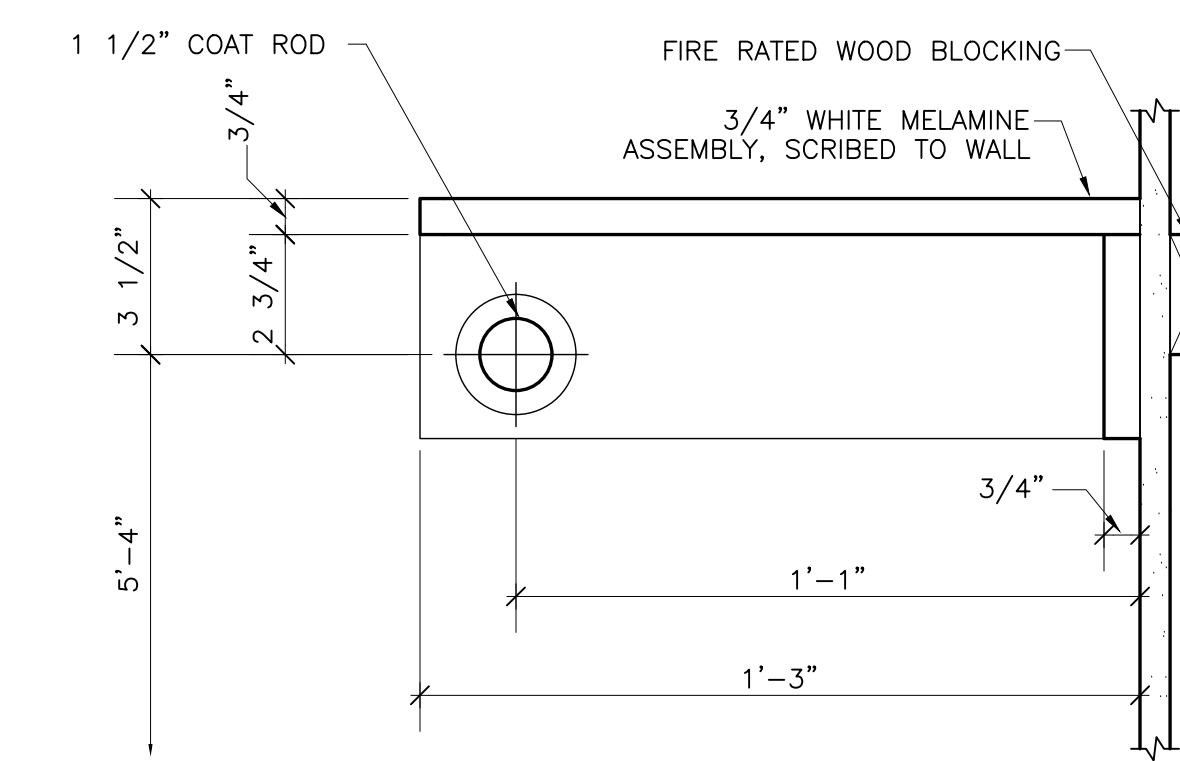
4 ENLARGED PLAN VIEW - WATER HEATER CLOSET #339 SCALE: 1/2" = 1'-0"

**CLOSET #319**  
 24" CLOSET  
 3" PER COAT  
 8 COATS TOTAL  
 8 x 20% = 1.6 COATS ACCESSIBLE

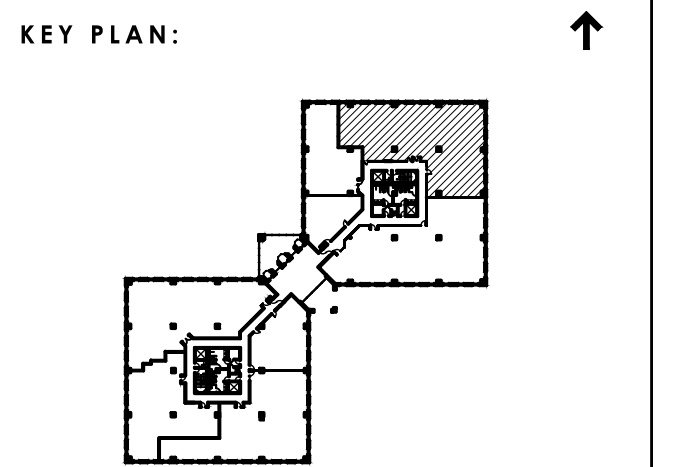
**CLOSET #324**  
 30" CLOSET  
 3" PER COAT  
 10 COATS TOTAL  
 10 x 20% = 2 COATS ACCESSIBLE



5 COAT CLOSET #319 AND #324 SCALE: 1/2" = 1'-0"



5 COAT ROD & HAT SHELF SCALE: 3/4" = 1'-0"



TENANT:  
**DR. GIRGIS (REMODEL & EXPANSION)**  
 ELM PLAZA  
 908 NORTH ELM STREET  
 SUITE #306  
 HINSDALE, ILLINOIS 60521

EXISTING: 4,132  
 EXPANSION: 1,557  
 TOTAL: 5,689

PROJ. NO. 20761-16 R.S.F.  
 SUBMITTED: DATE:

△ REVISED FOR BID: 08/04/18  
 FOR PERMIT: 07/20/18  
 FOR BID: 07/20/18  
 FOR APPROVAL: 07/20/18  
 DRAWN: 06/01/18

SHEET TITLE:  
 ENLARGED PLAN VIEWS,  
 PARTIAL HEIGHT PARTITION SECTION  
 SHEET NO.: A-3

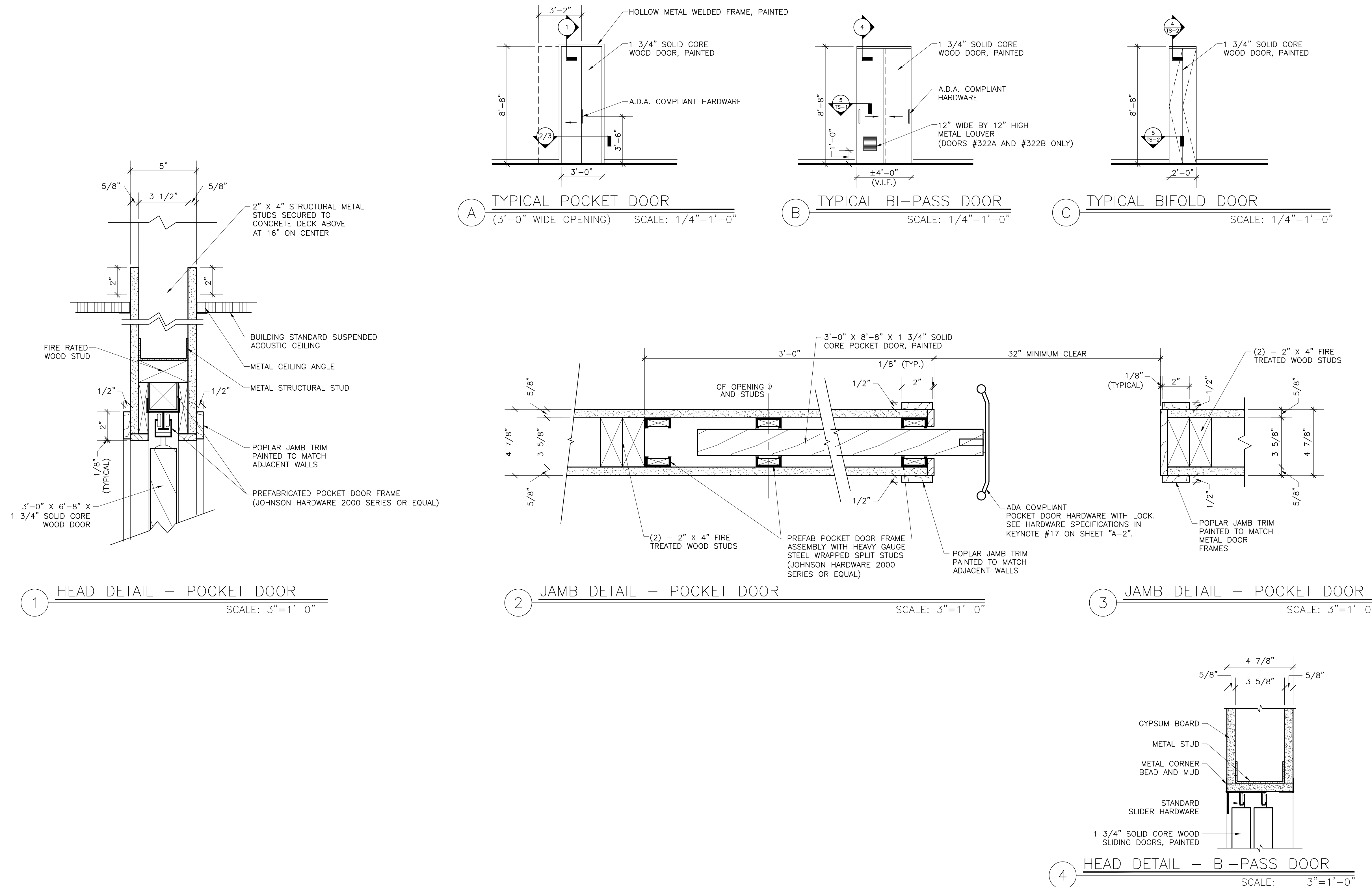
## DOOR, FRAME AND HARDWARE SCHEDULE

MARK	ROOM NO	ROOM NAME	DOOR			FRAME			HARDWARE			NOTES	
			ELEVATION / SHEET	STATUS	WIDTH	HEIGHT	THICK	LEAF MATERIAL / FINISH	MATERIAL / FINISH	FUNCTION	CLOSER		FINISH
301A	301	WAITING ROOM	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	WOOD, STAINED	SUITE ENTRY-EGRESS	YES	BUILDING STANDARD	ELECTRONIC DOOR STIKE, DOOR RELEASE
301B	301	WAITING ROOM	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	YES	POLISHED BRASS	DOOR CLOSER WITH "HOLD OPEN" FUNCTION
302A	302	CONSULT ROOM	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
303A	303	AUDIOLOGY (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
304A	304	SHARED OFFICE	A/A-4	NEW	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS PULLS	SINGLE POCKET DOOR
305A	305	CONSULT ROOM	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
306A	306	EXAM ROOM (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
307A	307	EXAM ROOM (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
308A	308	EXAM ROOM (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
310A	310	PHOTO ROOM (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
312A	312	SHARED OFFICE	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
313A	313	EXAM ROOM (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
314A	314	EXAM ROOM (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
315A	315	PRIVATE OFFICE (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
317A	317	EXAM ROOM (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
317B	317	EXAM ROOM (EXISTING)	--	RELOCATED	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
318A	318	CORRIDOR	B/TS-2	NEW	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	WOOD, STAINED	SUITE ENTRY-EGRESS	YES	BUILDING STANDARD	ELECTRONIC DOOR STIKE, DOOR RELEASE
321A	321	STORAGE CLOSET	B/A-4	NEW	4'-2"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	DRYWALL	PASSAGE SET	NO	POLISHED BRASS PULLS	DOUBLE BI-PASS
322A	322	IT CLOSET	B/A-4	NEW	4'-1"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	DRYWALL	PASSAGE SET	NO	POLISHED BRASS PULLS	DOUBLE BI-PASS WITH ONE (1) 12" X 12" METAL LOUVER EACH
322B	322	IT CLOSET	B/A-4	NEW	4'-1"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	DRYWALL	PASSAGE SET	NO	POLISHED BRASS PULLS	DOUBLE BI-PASS WITH ONE (1) 12" X 12" METAL LOUVER EACH
323A	323	STAFF WASHROOM (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PRIVACY LOCKSET	NO	POLISHED BRASS	--
324A	324	COAT CLOSET	C/A-4	NEW	2'-6"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	DRYWALL	PASSAGE SET	NO	POLISHED BRASS PULLS	SINGLE BIFOLD
325A	325	BREAK ROOM	A/TS-2	NEW	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	WOOD, STAINED	SUITE ENTRY-EGRESS	YES	BUILDING STANDARD	--
325B	325	BREAK ROOM	--	RELOCATED	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
326A	326	ADMIN OFFICE (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	WOOD, STAINED	PASSAGE SET	NO	POLISHED BRASS PULLS	SINGLE POCKET DOOR
327A	327	ADMIN OFFICE (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	WOOD, STAINED	PASSAGE SET	NO	POLISHED BRASS PULLS	SINGLE POCKET DOOR
328A	328	ADMIN OFFICE (EXISTING)	--	EXISTING	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
329A	329	BILLING/BUSINESS OFFICE	--	RELOCATED	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
330A	330	AUDIOLOGY BOUTIQUE	--	RELOCATED	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
331A	331	EXAM ROOM	--	RELOCATED	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
332A	332	TESTING ROOM	--	RELOCATED	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
333A	333	SHOTS ROOM	A/A-4	NEW	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS PULLS	SINGLE POCKET DOOR
334A	334	WAITING ROOM	--	RELOCATED	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS	--
335A	335	WAITING ROOM	B/TS-2	NEW	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	WOOD, STAINED	SUITE ENTRY-EGRESS	YES	BUILDING STANDARD	ELECTRONIC DOOR STIKE, DOOR RELEASE
337A	337	AUDIOLOGY OFFICE	--	RELOCATED	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS PULLS	--
338A	338	STAFF MEETING ROOM	A/A-4	NEW	3'-0"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	HOLLOW METAL PAINTED	PASSAGE SET	NO	POLISHED BRASS PULLS	SINGLE POCKET DOOR
339B	339	WATER HEATER CLOSET	C/A-4	NEW	2'-6"	8'-8"	1 3/4"	SOLID CORE OAK, STAINED	DRYWALL	PASSAGE SET	NO	POLISHED BRASS PULLS	SINGLE BIFOLD

3'-0" COMMERCIAL GRADE POCKET DOOR ASSEMBLY WITH SOFT CLOSE HARDWARE. SEE KEYNOTE #17 ON SHEET "A-2"

3'-0" COMMERCIAL GRADE POCKET DOOR ASSEMBLY WITH SOFT CLOSE HARDWARE. SEE KEYNOTE #17 ON SHEET "A-2"

3'-0" COMMERCIAL GRADE POCKET DOOR ASSEMBLY WITH SOFT CLOSE HARDWARE. SEE KEYNOTE #17 ON SHEET "A-2"



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DESIGNER: DIANE HANSA  
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**TENANT:**  
**DR. GIRGIS (REMODEL & EXPANSION)**  
ELM PLAZA  
908 NORTH ELM STREET  
SUITE #306  
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EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689  
PROJ. NO. 20761-16 R.S.F.  
SUBMITTED: DATE:

△ REVISED FOR BID: 08/04/18  
FOR PERMIT: 07/20/18  
FOR BID: 07/20/18  
FOR APPROVAL: 07/20/18  
DRAWN: 06/01/18  
SHEET TITLE:

DOOR SCHEDULE, DOOR ELEVATIONS, HEAD/JAMB DETAILS  
SHEET NO. **A-4**



**KEYNOTES**

- ELECTRICAL CONTRACTOR IS TO PROVIDE A JUNCTION BOX FOR THE HIGH EFFICIENCY "ON DEMAND" WATER HEATER. COORDINATE SPECIFICATIONS WITH THE TENANT. FINAL ELECTRICAL CONNECTION TO BE PERFORMED BY ELECTRICAL CONTRACTOR.
- TELEPHONE AND ELECTRICAL OUTLETS OCCURRING IN SOUND PARTITIONS SHALL BE STAGGERED TO REDUCE NOISE TRANSMISSION THROUGH WALLS.
- ELECTRICAL CONTRACTOR IS TO INSTALL BLANK PLATES OVER ALL EMPTY JUNCTION BOXES UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO PROVIDE A RECESSED WALL BOX OUTLET AT 60" ABOVE FINISHED FLOOR FOR DUPLEX OUTLET, COAXIAL CABLE AND DATA CONNECTION FOR TENANT'S FLAT SCREEN MONITOR/TELEVISION.
- RECESSED WALL BOX ILLUSTRATED IS TO BE A FIRE RATED FLAT SCREEN TV WALL BOX.
- FOR EXISTING TENANT DEMISING PARTITIONS, ALL NEW ELECTRIC BOXES SHALL BE HORIZONTALLY SEPARATED FROM BOXES IN THE OPPOSITE SIDE OF THE WALL BY NO LESS THAN 24" OR SUCH BOXES SHALL BE PROTECTED BY INTUMESCENT "PUTTY PADS".
- ELECTRICAL CONTRACTOR IS TO RETROFIT EXISTING DUPLEX OUTLET TO BE A STANDARD QUADRAPLEX OUTLET AS ILLUSTRATED ON PLAN.

**KEYNOTES**

- ELECTRICAL CONTRACTOR IS TO LOWER EXISTING DUPLEX OUTLET TO 15" ABOVE FINISHED FLOOR AND RETROFIT TO BE A STANDARD QUADRAPLEX OUTLET AS ILLUSTRATED ON PLAN.
- ELECTRICAL CONTRACTOR IS TO LOWER EXISTING JUNCTION BOX TO 15" ABOVE FINISHED FLOOR AND RETROFIT TO BE A STANDARD VOICE/DATA OUTLET AS ILLUSTRATED ON PLAN.
- ELECTRICAL CONTRACTOR IS TO RETROFIT EXISTING DATA OUTLET TO BE A STANDARD VOICE/DATA OUTLET AS ILLUSTRATED ON PLAN.
- ELECTRICAL CONTRACTOR IS TO LOWER EXISTING DUPLEX OUTLET FROM 44" ABOVE FINISHED FLOOR TO 15" ABOVE FINISHED FLOOR.
- ELECTRICAL CONTRACTOR IS TO RAISE EXISTING DUPLEX OUTLET TO 84" ABOVE FINISHED FLOOR FOR TENANT'S EXAM ROOM MONITOR.
- ELECTRICAL CONTRACTOR IS TO RAISE EXISTING VOICE/DATA OUTLET TO 84" ABOVE FINISHED FLOOR FOR TENANT'S EXAM ROOM MONITOR.
- ELECTRICAL CONTRACTOR IS TO RE-USE EXISTING JUNCTION BOX FOR TENANT'S DISHWASHER.
- CONTRACTOR IS TO INSTALL NEW DUPLEX OUTLET WITH USB PORTS (2 OUTLETS/2 USB PORTS).
- CONTRACTOR IS TO RETROFIT EXISTING DUPLEX INTO A DUPLEX WITH USB PORTS (2 OUTLETS/2 USB PORTS).
- ELECTRICAL CONTRACTOR IS TO LOWER EXISTING DUPLEX OUTLET TO 15" ABOVE FINISHED FLOOR.

**KEYNOTES**

- ELECTRICAL CONTRACTOR IS TO PROVIDE AND INSTALL A FLUSH MOUNTED DUPLEX FLOOR OUTLET. OUTLET TO MATCH EXISTING EXAM ROOM OUTLETS IN TENANT'S SPACE. COORDINATE EXACT SPECIFICATIONS AND LOCATION IN THE FIELD WITH THE TENANT PRIOR TO THE START OF WORK.
- ELECTRICAL CONTRACTOR IS TO PROVIDE AND INSTALL A JUNCTION BOX AT 44" ABOVE FINISHED FLOOR FOR A DOOR RELEASE/HOLD "OPEN" BUTTON. DOOR RELEASE IS TO BE WIRED TO ELECTRONIC DOOR STRIKES WITHIN DOOR RECEIVING HARDWARE. SEE CONSTRUCTION PLAN, SHEET "A-2", FOR ADDITIONAL REQUIREMENTS FOR DOOR HARDWARE AT THESE LOCATIONS.
- ELECTRICAL CONTRACTOR IS TO LOWER EXISTING OUTLET FROM 44" ABOVE FINISHED FLOOR TO 15" ABOVE FINISHED FLOOR AND RETROFIT TO BE A STANDARD QUADRAPLEX OUTLET AS ILLUSTRATED ON PLAN.
- TESTING ROOM #332:** ELECTRICAL CONTRACTOR IS TO COORDINATE EXACT HEIGHT AND LOCATION OF JUNCTION BOX WITH MILLWORK CONTRACTOR FOR UNDER CABINET LED LIGHT FIXTURES. JUNCTION BOX IS TO BE LOCATED INSIDE UPPER CABINET.
- ELECTRICAL CONTRACTOR IS TO RETROFIT EXISTING DUPLEX OUTLET ON A GROUND FAULT INTERRUPTER TO BE A STANDARD QUADRAPLEX OUTLET ON A GROUND FAULT INTERRUPTER AS ILLUSTRATED ON PLAN.

**SHEET NOTES**

- CONTRACTOR IS TO REFER TO MEP ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL FLOOR CORES TO BE FLUSH MOUNTED.
- ELECTRICAL CONTRACTOR SHALL FILL ALL HOLES AROUND PIPING IN FLOOR CORES WITH A FIRE PROOF, NON-SHRINKING FLOOR FILL MATERIAL BEFORE FLOOR COVERINGS ARE INSTALLED.
- ALL ELECTRICAL TO POWER EQUIPMENT IS TO BE COORDINATED WITH THE TENANT'S EQUIPMENT CONTRACTOR TO ASSURE QUANTITY, TYPE OF POWER AND TYPE OF RECEPTACLE.
- ALL LOW VOLTAGE CABLING NOT IN USE IS TO BE REMOVED BACK TO THE SOURCE. ALL CABLING, HANGERS, TIES AND CONDUIT ARE TO BE REMOVED ENTIRELY.
- IF REQUIRED, ALARM CONTRACTOR IS TO PROVIDE COMPLETE DRAWINGS AND CALCULATIONS SHOWING TYPES AND LOCATIONS OF ALL DETECTION AND ALARM SYSTEMS FOR MUNICIPALITY REVIEW AND APPROVAL AS REQUIRED TO MEET ALL CODES.
- ALL ELECTRICAL AND LOW VOLTAGE CONDUIT AND JUNCTION BOXES ARE TO BE CONNECTED TO THE BUILDING'S STRUCTURE, OR UNISTRUT, WHICH IS MECHANICALLY CONNECTED TO THE STRUCTURE.
- ALL EXISTING CONDUITS NOT BEING USED IN NEW BUILDOUT ARE TO BE REMOVED BACK TO ELECTRICAL/TELEPHONE CLOSETS/SOURCE ENTIRELY AND WALLS REPAIRED TO LOOK NEW (SEE BUILDING ENGINEER).
- ELECTRICAL CONTRACTOR IS TO PROVIDE EMT CONDUIT STUBS, A FITTING AND BUSHING 6" ABOVE THE CEILING FOR ALL LOW VOLTAGE CABLE. SIZE CONDUIT STUBS AND PULL BOXES ACCORDINGLY TO HOUSE QUANTITIES OF LOW VOLTAGE CABLE SPECIFIED.

**ELECTRICAL SPECIFICATIONS**

**NON RATED FLAT SCREEN TV WALL BOX**  
 MFR: FSR METAL PRODUCTS GROUP  
 MODEL #: PWB-253-WHT  
 COLOR: WHITE  
 CONTACT: NEXT GENERATION MARKETING (847) 550-1200

**FIRE RATED FLAT SCREEN TV WALL BOX**  
 MFR: FSR METAL PRODUCTS GROUP  
 MODEL #: PWB-FR-450-WHT  
 COLOR: WHITE  
 CONTACT: NEXT GENERATION MARKETING (847) 550-1200

**ROOM SCHEDULE**

NUMBER	ROOM NAME
301	WAITING ROOM
302	CONSULT ROOM
303	AUDIOLOGY (EXISTING)
304	SHARED OFFICE
305	CONSULT ROOM
306	EXAM ROOM (EXISTING)
307	EXAM ROOM (EXISTING)
308	EXAM ROOM (EXISTING)
309	CORRIDOR
310	PHOTO ROOM (EXISTING)
311	LAB (EXISTING)
312	SHARED OFFICE
313	EXAM ROOM (EXISTING)
314	EXAM ROOM (EXISTING)
315	PRIVATE OFFICE (EXISTING)
316	CORRIDOR
317	EXAM ROOM (EXISTING)
318	CORRIDOR
319	COATS
320	RECEPTION
321	STORAGE CLOSET
322	IT CLOSET
323	STAFF WASHROOM (EXISTING)
324	COAT CLOSET
325	BREAK ROOM
326	ADMIN OFFICE (EXISTING)
327	ADMIN OFFICE (EXISTING)
328	ADMIN OFFICE (EXISTING)
329	BILLING/BUSINESS OFFICE
330	AUDIOLOGY BOUTIQUE
331	EXAM ROOM
332	TESTING ROOM
333	SHOTS ROOM
334	WAITING ROOM
335	WAITING ROOM
336	RECEPTION
337	AUDIOLOGY OFFICE
338	STAFF MEETING ROOM
339	WATER HEATER CLOSET



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 REVIEWER: TIMOTHY R. LIES  
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 REVISED BY:

**MANAGEMENT:**  
  
 ELM PLAZA  
 908 NORTH ELM STREET  
 HINSDALE, ILLINOIS 60521

**WALL LEGEND**

- BUILDING CORE OR EXISTING PARTITION TO REMAIN
- NEW 1 HOUR FIRE RATED DEMISING PARTITION, FLOOR TO UNDERSIDE OF DECK ABOVE
- NEW INTERIOR PARTITION, FLOOR TO UNDERSIDE OF FINISHED CEILING
- NEW INTERIOR PARTITION, WITH INSULATION, FLOOR TO UNDERSIDE OF DECK ABOVE, NON RATED
- GLASS PARTITION

**ELECTRIC/VOICE/DATA LEGEND**

- DUPLEX WALL OUTLET
- DUPLEX WALL OUTLET WITH USB PORTS (2 OUTLETS/2 USB PORTS)
- QUADRAPLEX WALL OUTLET
- QUADRAPLEX WALL OUTLET ON DEDICATED CIRCUIT
- VOICE/DATA JUNCTION BOX
- ELECTRICAL JUNCTION BOX
- RECESSED WALLBOX OUTLET AT 60" AFF FOR DUPLEX OUTLET, COAXIAL CABLE AND DATA CONNECTION
- DUPLEX FLOOR OUTLET
- SURFACE MOUNTED WIRE MOLD
- GFI OUTLET ON GROUND FAULT INTERRUPTER
- EXISTING TO REMAIN
- AFF ABOVE FINISHED FLOOR

**NOTE:**  
 TELEPHONE VENDOR IS TO ENSURE THE SERVICE INSTALLED COMPLIES WITH 50 ILCS 750/ EMERGENCY TELEPHONE SYSTEM ACT. THE SERVICE MUST MAKE A DIRECT AND IMMEDIATE 9-1-1 CONNECTION WITH DuPAGE COUNTY COMMUNICATIONS.

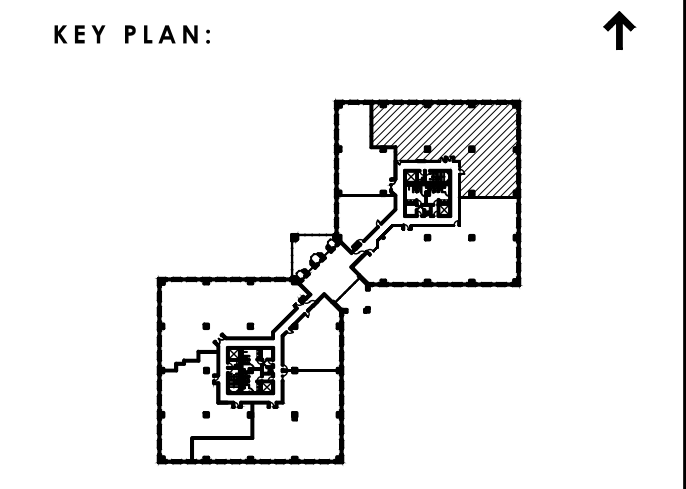
**NOTE:**  
 ALL ELECTRIC/VOICE/DATA IS NEW UNLESS OTHERWISE NOTED.

**NOTE:**  
 LANDLORD/BUILDING MANAGEMENT WILL PROVIDE EMPTY JUNCTION BOXES AND CONDUIT RUNS TO 6" ABOVE THE CEILING SYSTEM FOR VOICE/DATA COMPONENTS.  
 TENANT IS RESPONSIBLE FOR THE INSTALLATION OF THEIR OWN VOICE/DATA SYSTEM, SECURITY SYSTEM, CABLING AND TERMINATIONS OF ALL CABLING. ALL WORK MUST MEET ALL STATE AND LOCAL CODES. TENANT'S CONTRACTOR MUST BE LICENSED, BONDED, AND PULL ALL NECESSARY PERMITS FROM THE VILLAGE/CITY. TENANT'S CONTRACTOR IS TO COORDINATE ALL WORK WITH THE LANDLORD'S/BUILDING MANAGEMENT'S CONTRACTOR.  
 LANDLORD/BUILDING MANAGEMENT WILL PROVIDE A JUNCTION BOX WITH A FLEXIBLE WHIP AND REQUIRED AMOUNT OF CIRCUITS TO DESIGNATED LOCATIONS FOR TENANT'S FURNITURE SYSTEM.  
 TENANT IS RESPONSIBLE FOR ALL ELECTRICAL REQUIREMENTS FOR THEIR FURNITURE SYSTEMS FROM THE WHIP THAT IS PROVIDED BY THE LANDLORD/BUILDING MANAGEMENT. TENANT'S CONTRACTOR MUST BE LICENSED, BONDED, AND PULL ALL NECESSARY PERMITS FROM THE VILLAGE/CITY. TENANT'S CONTRACTOR IS TO COORDINATE ALL WORK WITH THE LANDLORD'S/BUILDING MANAGEMENT'S CONTRACTOR.

**NOTE:**  
 ALL AREAS ILLUSTRATED WITH A HATCH ARE NOT INCLUDED IN THIS CONTRACT.



THIRD FLOOR – EAST WING – ELECTRIC/VOICE/DATA PLAN  
 SCALE: 1/4"=1'-0"



**TENANT:**  
**DR. GIRGIS (REMODEL & EXPANSION)**  
 ELM PLAZA  
 908 NORTH ELM STREET  
 SUITE #304  
 HINSDALE, ILLINOIS 60521

EXISTING: 4,132	EXPANSION: 1,557	TOTAL: 5,689
PROJ. NO. 20761-16	R.S.F.	
SUBMITTED:		DATE:
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FOR PERMIT:	07/20/18	
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FOR APPROVAL:	07/20/18	
DRAWN:	06/01/18	
SHEET TITLE:		

**KEYNOTES**

1. EXISTING CEILING SYSTEMS ARE TO REMAIN. CONTRACTOR IS TO PATCH, REPAIR OR REPLACE ANY DAMAGED GRID OR TILES.
2. WHERE SHADED ON PLAN, CONTRACTOR IS TO REMOVE A PORTION OF EXISTING CEILING GRID SYSTEM. SAVE ALL ACOUSTIC TILES THAT ARE IN GOOD CONDITION AND STORE ON SITE FOR RE-USE IN NEW LAYOUT. SEE REFLECTED CEILING PLAN, SHEET "AE-3", FOR FURTHER INFORMATION.
3. EXISTING DRYWALL SOFFITS AND RECESSED LIGHT FIXTURES ARE TO BE REMOVED AND DISPOSED OF PROPERLY.
4. ALL FLUORESCENT LIGHT FIXTURES ARE TO BE REMOVED AND DISPOSED OF PROPERLY. SEE REFLECTED CEILING PLAN, SHEET "AE-3", FOR FURTHER INFORMATION.
5. ALL TRACK LIGHTING ARE TO BE REMOVED AND DISPOSED OF PROPERLY.
6. ALL RECESSED CANS ARE TO BE REMOVED AND DISPOSED OF PROPERLY. SEE REFLECTED CEILING PLAN, SHEET "AE-3", FOR FURTHER INFORMATION.
7. ALL EXISTING EXIT SIGNS ARE TO BE REMOVED AND DISPOSED OF PROPERLY. SEE REFLECTED CEILING PLAN, SHEET "AE-3", FOR FURTHER INFORMATION.
8. REMOVE EXISTING CEILING MOUNTED EMERGENCY BATTERY PACK UNIT. REPLACE DAMAGED ACOUSTIC CEILING TILE WITH A MATCHING TILE THAT WAS REMOVED IN ANOTHER AREA OF THE SPACE.
9. SEE SHEET AE-2 NOTE #13 FOR ALTERNATE FOR PRICING.

**SHEET NOTES**

1. CONTRACTOR SHALL MAINTAIN EMERGENCY LIGHTING IN WORK AREAS AND THE MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN EXIT SIGNS FOR MEANS OF EGRESS THROUGHOUT THE ENTIRE FLOOR DURING DEMOLITION AND CONSTRUCTION.
3. CONTRACTOR IS **NOT** TO DISABLE ANY EXISTING LIFE SAFETY DEVICE WITHOUT PRIOR NOTIFICATION TO THE VILLAGE. THIS INCLUDES FIRE HORNS AND STROBES, BATTERY PACKS, AND 24 LIGHT FIXTURES.
4. CONTRACTOR IS **NOT** TO DISABLE ANY EXISTING FIRE SPRINKLER SYSTEM.

**LIGHTING LEGEND**

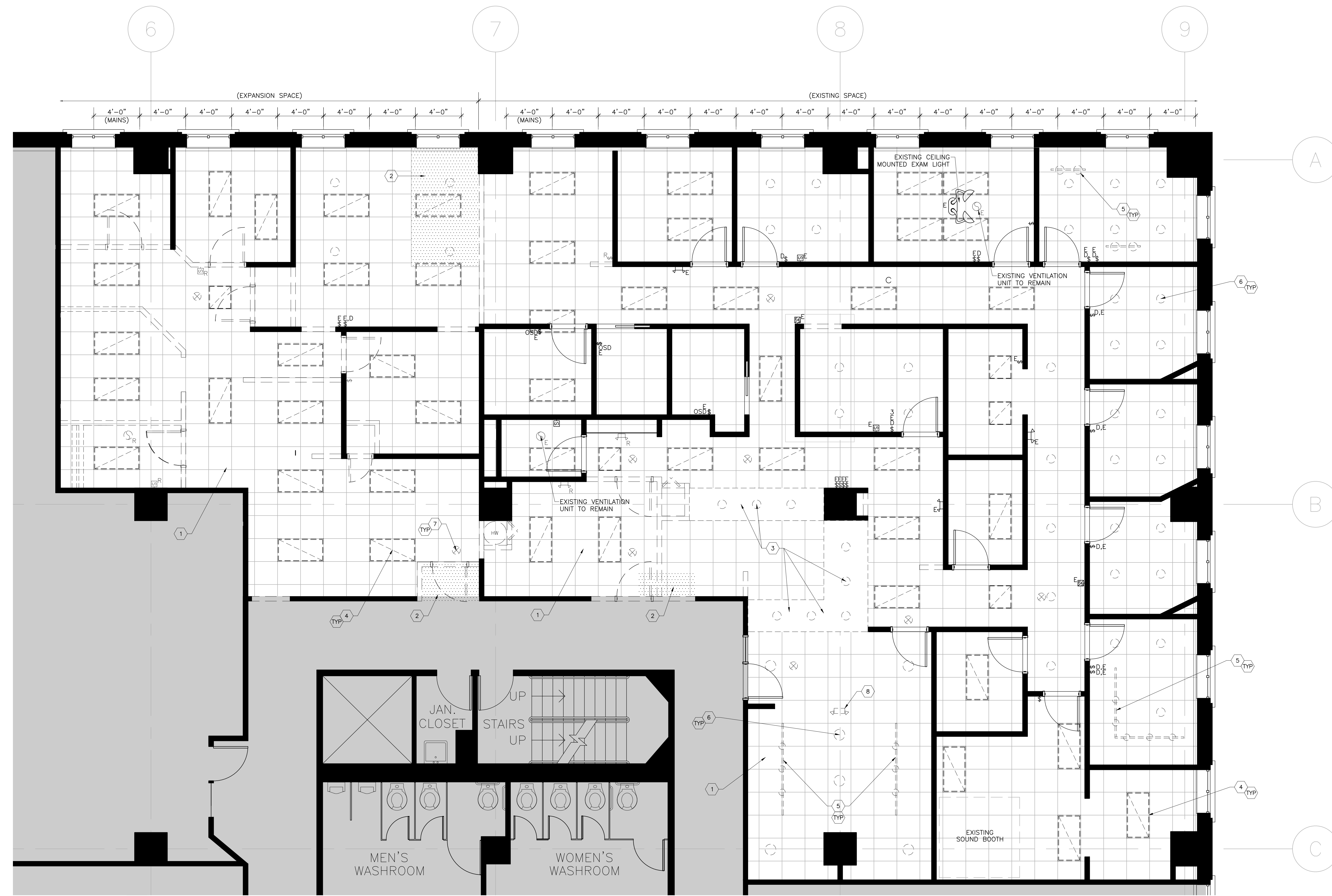
- TRACK LIGHTING
- SINGLE POLE SWITCH - LOWER CASE LETTER DENOTES SWITCH/FIXTURE CIRCUITRY
- SINGLE POLE SWITCH WITH DIMMER
- EXHAUST FAN
- EMERGENCY BATTERY PACK W/ 2 HEADS MINIMUM 2 HOUR BATTERY ILLUMINATION LIFE
- EXISTING TO REMAIN
- REMOVED
- REMOVED 2'X4' RECESSED FLUORESCENT LIGHT FIXTURE
- REMOVED 2'X2' RECESSED FLUORESCENT LIGHT FIXTURE
- REMOVED RECESSED INCANDESCENT LIGHT FIXTURE
- REMOVED EXIT SIGN
- REMOVED EMERGENCY BATTERY PACK



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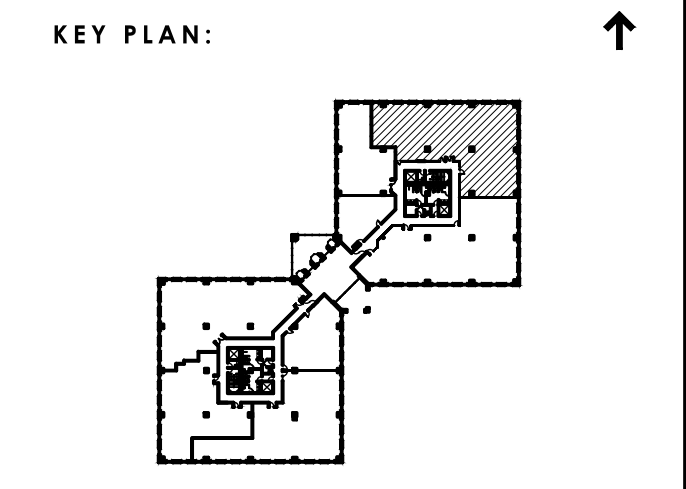
**PROJECT DESIGN TEAM:**  
 ARCHITECT: LARRY DOHRER  
 DESIGNER: DIANE HANSA  
 REVIEWER: TIMOTHY R. UES  
 DRAWN BY: LAUREL A. LANG  
 REVISED BY:

**MANAGEMENT:**  
  
 ELM PLAZA  
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 HINSDALE, ILLINOIS 60521



THIRD FLOOR - EAST WING - REFLECTED CEILING DEMOLITION PLAN  
 SCALE: 1/4"=1'-0"

**NOTE:**  
 ALL AREAS ILLUSTRATED WITH A HATCH ARE NOT INCLUDED IN THIS CONTRACT.



**TENANT:**  
 DR. GIRGIS  
 (REMODEL & EXPANSION)  
 ELM PLAZA  
 908 NORTH ELM STREET  
 SUITE #304  
 HINSDALE, ILLINOIS 60521

EXISTING: 4,132	
EXPANSION: 1,557	
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**KEYNOTES**

1. WHERE SHADED ON PLAN, CONTRACTOR IS TO MATCH, PATCH AND ALIGN NEW CEILING GRID SYSTEM WITH EXISTING ADJACENT GRID SYSTEM, AS ILLUSTRATED ON PLAN.
2. WHERE DEMOLITION OCCURRED, CONTRACTOR IS TO PROVIDE A DRYWALL WRAPPED HEADER 2" BELOW EXISTING CEILING GRIDS TO SEPARATE CEILING GRID SYSTEMS, AS ILLUSTRATED ON PLAN. SEE DETAIL #5 ON SHEET "AE-4" FOR MORE INFORMATION.
3. CONTRACTOR IS TO PROVIDE NEW DRYWALL SOFFITS AT RECEPTION AREAS. SOFFITS ARE TO ALIGN WITH TRANSACTION TOPS BELOW. SEE "AE-4" FOR MORE INFORMATION.
4. CONTRACTOR IS TO RETROFIT EXISTING SINGLE POLE SWITCH TO A VACANCY SENSING (VS) DEVICE, AS ILLUSTRATED ON PLAN.
5. CONTRACTOR IS TO RETROFIT EXISTING SINGLE POLE SWITCH TO BE A DIMMER SWITCH, AS ILLUSTRATED ON PLAN.
6. ELECTRICAL CONTRACTOR IS TO PROVIDE AND INSTALL AN OVERRIDE SWITCH FOR CEILING MOUNTED OCCUPANCY SENSING DEVICE.
7. **IT CLOSET #322:** CONTRACTOR IS TO PROVIDE AND EXHAUST FAN AT THE CEILING. FAN TO BE WIRED TO A THERMOSTAT CONTROL. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
8. CONTRACTOR IS TO RETROFIT EXISTING SINGLE POLE SWITCH WITH DIMMER TO A VACANCY SENSING (VS) DEVICE, AS ILLUSTRATED ON PLAN.
9. CONTRACTOR IS TO RETROFIT EXISTING SWITCH TO BE A DIMMER SWITCH.
10. CONTRACTOR IS TO RETROFIT EXISTING OCCUPANCY SENSING DEVICE TO BE A VACANCY SENSING (VS) DEVICE, AS ILLUSTRATED ON PLAN.
11. CONTRACTOR IS TO INSTALL/MOUNT LED PENDANT FIXTURES (L-6) 6"-8" ABOVE FINISHED FLOOR TO BOTTOM OF FIXTURE.
12. CONTRACTOR IS TO PROVIDE A DRYWALL WRAPPED HEADER 8" BELOW EXISTING CEILING GRID TO ALIGN WITH NEW DRYWALL (EXPANSION SPACE).
13. **PRICE AS ALTERNATE:** REMOVE EXISTING CEILING TILES IN ROOMS #301, 309, 316, 318, 320, 334, 335, 336 AND STORE ON SITE. RE-USE AS NEEDED THROUGHOUT OTHER AREAS OF THE SPACE. PROVIDE NEW CEILING TILES TO MATCH EXISTING IN ROOMS LISTED ABOVE.

**SHEET NOTES**

1. EXISTING CEILING SYSTEMS ARE TO REMAIN. CONTRACTOR IS TO PATCH, REPAIR OR REPLACE ANY DAMAGED GRID OR TILES.
2. RE-WORK GRID AS NECESSARY TO ACCOMMODATE LIGHTING LAYOUT AS SHOWN.
3. REFER TO ATTACHED MECHANICAL DOCUMENTS FOR ALL HVAC WORK REQUIRED.
4. ALL LAY-IN FIXTURES SHALL BE SUPPORTED INDEPENDENTLY OF CEILING GRID(S) BY TWO (2) 12 GAUGE PENCIL RODS AND AT OPPOSITE CORNERS TO TOP CORD OF BAR JOISTS(S).
5. CONTRACTOR SHALL MAINTAIN EMERGENCY LIGHTING IN WORK AREAS AND THE MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION.
6. CONTRACTOR SHALL MAINTAIN EXIT SIGNS FOR MEANS OF EGRESS THROUGHOUT THE ENTIRE FLOOR DURING DEMOLITION AND CONSTRUCTION.
7. ALL EXIT LIGHTS ARE TO BE NEW LED TYPE AND MEET THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
8. ALARM CONTRACTOR IS TO PROVIDE DRAWINGS WITH SPECIFICATIONS FOR REVIEW AND APPROVAL BY THE GOVERNING MUNICIPALITY.
9. VISUAL ALARMS: STROBES ARE TO BE INSTALLED TO MEET THE ILLINOIS ACCESSIBILITY CODE.
10. AUDIBLE ALARMS: AUDIBLE ALARMS ARE TO MEET IBC, IFC, LIFE SAFETY CODES, WHICHEVER IS MOST STRINGENT.

**SHEET NOTES**

1. LIFE SAFETY HORN AND STROBES ARE TO BE INSTALLED AS BUILDING CODE. ALL TO BE TESTED BY THE SECURITY COMPANY AND BUILDING ENGINEER / SECURITY AFTER BEING INSTALLED. AFTER OCCUPANCY, THE ALARM CONTRACTOR IS TO TEST AND CERTIFY IN WRITING THAT EACH ROOM OR SPACE MEETS THE MINIMUM AND MAXIMUM DECIBELS REQUIRED BY CODE. IF UPON TESTING, THE AUDIBLE ALARMS DO NOT REACH THE MINIMUM OR MAXIMUM REQUIRED DECIBELS, DEVICES SHALL BE ADDED OR DELETED AS REQUIRED.
2. A FINAL REPORT FROM THE ALARM CONTRACTOR SHALL BE PROVIDED TO THE BUILDING MANAGEMENT UPON COMPLETION.
3. THE INTERIOR DESIGN GROUP, LTD.'S, HORN AND STROBE LAYOUT IS FOR REFERENCE ONLY. CONTRACTOR IS TO VERIFY EXACT QUANTITIES AND LOCATIONS WITH THE FIRE ALARM CONTRACTOR.
4. CONTRACTOR IS RESPONSIBLE FOR THE SYNCHRONIZATION OF ALL EXISTING AND NEW STROBE LIGHT SEQUENCING THROUGHOUT THE SPACE.
5. ENTIRE LIFE/SAFETY SYSTEM TO BE FURNISHED BY **GENERAL CONTRACTOR**. SYSTEM TO BE INSTALLED AND HARDWIRED TO BUILDING SYSTEM BY THE APPROVED BUILDING/LIFE/SAFETY VENDOR.
6. UPON COMPLETION OF SPRINKLER WORK, CONTRACTOR IS TO PROVIDE BUILDING MANAGEMENT WITH SPRINKLER AS BUILT DOCUMENTS.
7. CONTRACTOR IS **NOT** TO DISABLE ANY EXISTING LIFE SAFETY DEVICE WITHOUT PRIOR NOTIFICATION TO THE VILLAGE. THIS INCLUDES FIRE HORNS AND STROBES, BATTERY PACKS, AND 24 LIGHT FIXTURES.
8. CONTRACTOR IS **NOT** TO DISABLE ANY EXISTING FIRE SPRINKLER SYSTEM.

**NOTE:**  
CONTRACTOR IS TO REFER TO MECHANICAL DRAWINGS FOR ALL HORN/STROBE LOCATIONS.

**LIGHTING SPECIFICATION**

**L-1 2' X 4' LED DIRECT/INDIRECT LIGHT FIXTURE**  
MFR: LITHONIA LIGHTING  
SERIES: BLT SERIES LED  
MOUNTING: GRID LAY-IN  
SIZE: 2' X 4'  
ORDER #: 2BLT4-40L-ADP-EZ1-LP830  
LAMP TYPE: LED  
LAMP COLOR: 3000K

**L-2 2' X 2' LED DIRECT/INDIRECT LIGHT FIXTURE**  
MFR: LITHONIA LIGHTING  
SERIES: BLT SERIES LED  
MOUNTING: GRID LAY-IN  
SIZE: 2' X 2'  
ORDER #: 2BLT2-40L-ADP-EZ1-LP830  
LAMP TYPE: LED  
LAMP COLOR: 3000K

**LIGHTING SPECIFICATION**

**L-3 HIGH EFFICIENCY LED RECESSED CAN LIGHT FIXTURE**  
DIST: COOPER LIGHTING  
MFR: HALO  
MODEL #: PD6 LED  
TRIM SIZE: 6" DIAMETER  
ORDER #: PD6-10-D010B-930-61V-C-W  
LAMP TYPE: LED  
LAMP COLOR: 3000K

**L-4 HIGH EFFICIENCY WALL WASHER LED RECESSED CAN LIGHT FIXTURE**  
DIST: COOPER LIGHTING  
MFR: HALO  
MODEL #: PD6 LED  
TRIM SIZE: 6" DIAMETER, WALL WASH  
ORDER #: PD6-10-D010-930-61VW-C-W  
LAMP TYPE: LED  
LAMP COLOR: 3000K

**LIGHTING SPECIFICATION**

**L-5 HIGH EFFICIENCY LED RECESSED CAN LIGHT FIXTURE**  
DIST: COOPER LIGHTING  
MFR: HALO  
MODEL #: ML4D  
SERIES: 900 LUMEN SERIES/90 CRI  
TRIM SIZE: 2" DIAMETER ROUND  
ORDER #: ML4D09NFL30E-TL43R2GMWB  
LAMP TYPE: LED  
LAMP COLOR: 3000K

**L-6 DECORATIVE LED PENDANT LIGHT FIXTURE**  
MFR: LIGHTOLOGY  
SERIES: VENZANO CYLINDER  
PENDANT  
PRODUCT #: ELN592247  
SHADE COLOR: CLEAR  
BODY FINISH: CHROME  
LAMP TYPE: LED WITH LOW VOLTAGE DIMMER  
LAMP COLOR: 3000K

**L-7 UNDER CABINET LED TASK LIGHTING**  
MFR: TECH LIGHTING  
SERIES: UNILIME LED DIRECT WIRE  
ORDER #: 700UCFDW1393W-LED  
FINISH: WHITE  
LAMP TYPE: LED  
LAMP COLOR: 3000K

**ROOM SCHEDULE**

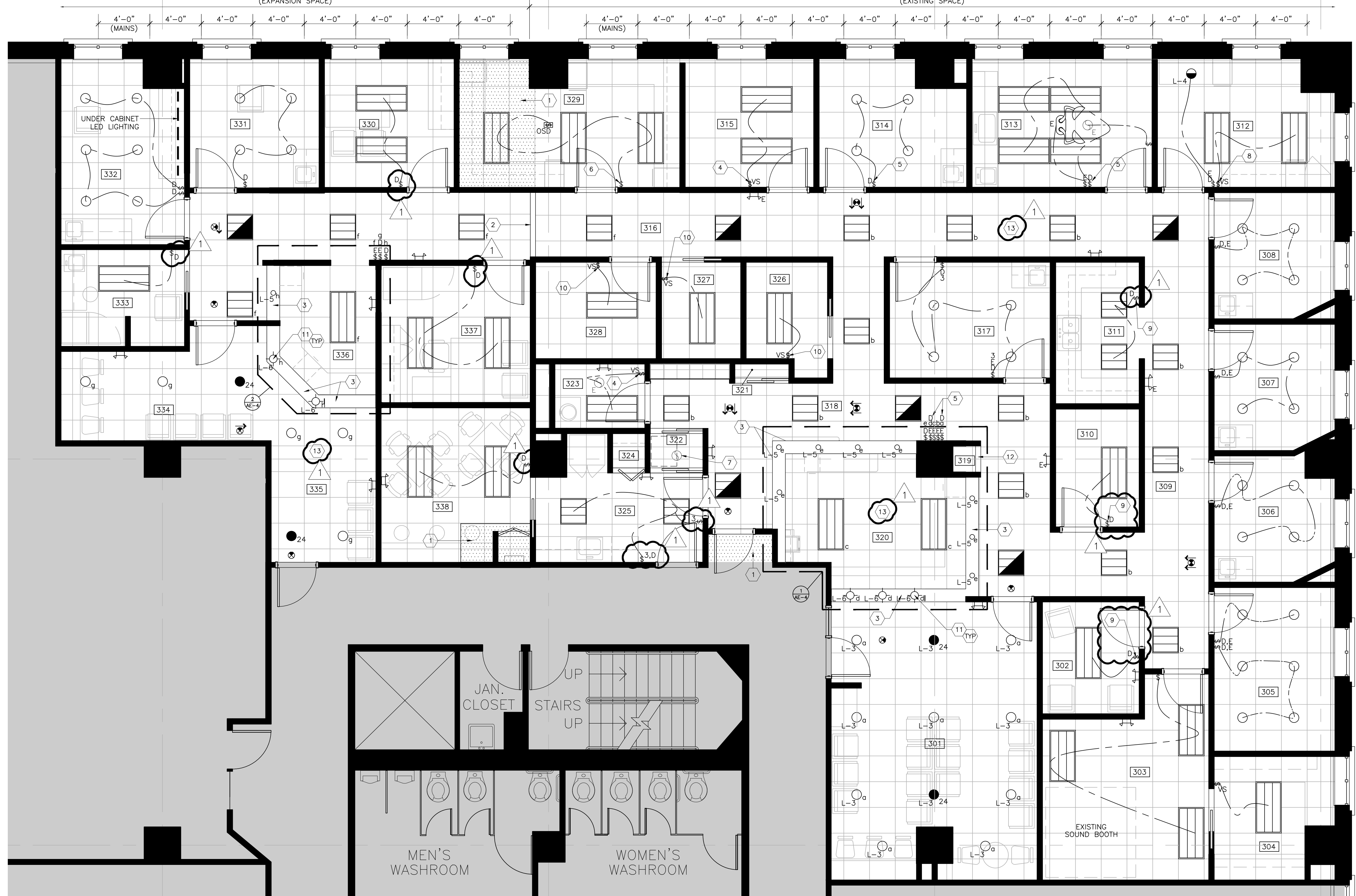
NUMBER	ROOM NAME
301	WAITING ROOM
302	CONSULT ROOM
303	AUDIOLOGY (EXISTING)
304	SHARED OFFICE
305	CONSULT ROOM
306	EXAM ROOM (EXISTING)
307	EXAM ROOM (EXISTING)
308	EXAM ROOM (EXISTING)
309	CORRIDOR
310	PHOTO ROOM (EXISTING)
311	LAB (EXISTING)
312	SHARED OFFICE
313	EXAM ROOM (EXISTING)
314	EXAM ROOM (EXISTING)
315	PRIVATE OFFICE (EXISTING)
316	CORRIDOR
317	EXAM ROOM (EXISTING)
318	CORRIDOR
319	COATS
320	RECEPTION
321	STORAGE CLOSET
322	IT CLOSET
323	STAFF WASHROOM (EXISTING)
324	COAT CLOSET
325	BREAK ROOM
326	ADMIN OFFICE (EXISTING)
327	ADMIN OFFICE (EXISTING)
328	ADMIN OFFICE (EXISTING)
329	BILLING/BUSINESS OFFICE
330	AUDIOLOGY BOUTIQUE
331	EXAM ROOM
332	TESTING ROOM
333	SHOTS ROOM
334	WAITING ROOM
335	WAITING ROOM
336	RECEPTION
337	AUDIOLOGY OFFICE
338	STAFF MEETING ROOM
339	WATER HEATER CLOSET

**LIGHTING LEGEND**

- L-1 2'X4' RECESSED LED DIRECT/INDIRECT FIXTURE
- L-2 2'X2' RECESSED LED DIRECT/INDIRECT FIXTURE
- 24 2'X2' RECESSED LED DIRECT/INDIRECT FIXTURE ON 24 HOUR NON-SWITCHED CIRCUIT
- L-3 RECESSED LED LIGHT FIXTURE WITH DOWNLIGHT TRIM
- 24 RECESSED LED LIGHT FIXTURE WITH DOWNLIGHT TRIM ON A 24 HOUR NON-SWITCHED CIRCUIT
- L-4 RECESSED LED LIGHT FIXTURE WITH WALLWASHER TRIM
- L-5 RECESSED LED LIGHT FIXTURE WITH DOWNLIGHT TRIM (DRYWALL SOFFITS)
- L-6 PENDANT MOUNTED LED LIGHT FIXTURE
- L-7 CONTINUOUS FLUORESCENT STRIP
- VS SINGLE POLE SWITCH - LOWER CASE LETTER DENOTES SWITCH/FIXTURE CIRCUITRY
- 3 THREE-WAY SWITCH
- D SINGLE POLE SWITCH WITH DIMMER
- VS VACANCY SENSING DEVICES (HEAT/MOTION SENSORS) PROGRAMMABLE UP TO 30 MINUTES MAXIMUM ADJUSTABLE TIME DELAY (MANUAL ON, AUTOMATIC OFF)
- OSD OCCUPANCY SENSING DEVICES (HEAT/MOTION SENSORS) PROGRAMMABLE UP TO 30 MINUTES MAXIMUM ADJUSTABLE TIME DELAY (MANUAL ON, AUTOMATIC OFF)
- OSD CEILING MOUNTED OCCUPANT SENSING DEVICE (HEAT/MOTION SENSORS) PROGRAMMABLE UP TO 30 MINUTES MAXIMUM ADJUSTABLE TIME DELAY
- EXHAUST FAN
- EXIT SIGN/SINGLE FACED LED W/ BATTERY PACK MINIMUM 2 HOUR BATTERY ILLUMINATION LIFE
- EXIT SIGN/SINGLE FACED LED W/ DIRECTION ARROW AND BATTERY PACK MINIMUM 2 HOUR BATTERY ILLUMINATION LIFE
- EXIT SIGN/DOUBLE FACED LED W/ DIRECTION ARROWS AND BATTERY PACK MINIMUM 2 HOUR BATTERY ILLUMINATION LIFE
- EMERGENCY BATTERY PACK W/ 2 HEADS MINIMUM 2 HOUR BATTERY ILLUMINATION LIFE
- E EXISTING TO REMAIN
- 24 ON A 24 HOUR CIRCUIT
- EXISTING/RELOCATED/NEW (UPPER CASE LETTERS)
- LIGHT TYPE (NUMBER, IF APPLIES)
- SWITCH/FIXTURE CIRCUITRY (LOWER CASE LETTERS)

**NOTE:**  
ALL LIGHT FIXTURES AND SWITCHES ARE NEW, UNLESS OTHERWISE NOTED.

**NOTE:**  
ALL AREAS ILLUSTRATED WITH A HATCH ARE NOT INCLUDED IN THIS CONTRACT.



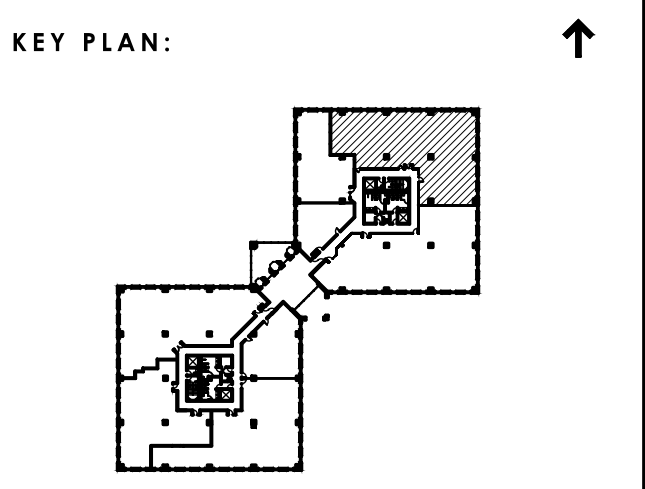
THIRD FLOOR - EAST WING - REFLECTED CEILING PLAN  
SCALE: 1/4"=1'-0"



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750 WARRENVILLE ROAD | SUITE 103  
LISLE, ILLINOIS 60532  
PHONE 630 | 348 | 0400  
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**PROJECT DESIGN TEAM:**  
ARCHITECT: LARRY DOHRER  
DESIGNER: DIANE HANSA  
REVIEWER: TIMOTHY R. LIES  
DRAWN BY: LAUREL A. LANG  
REVISED BY:

**MANAGEMENT:**  
**CBRE**  
ELM PLAZA  
908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521



**TENANT:**  
**DR. GIRGIS (REMODEL & EXPANSION)**  
ELM PLAZA  
908 NORTH ELM STREET  
SUITE #306  
HINSDALE, ILLINOIS 60521

EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689  
PROJ. NO. 20761-16 R.S.F.  
SUBMITTED: DATE:

REVISED FOR BID: 08 | 06 | 18  
FOR PERMIT: 07 | 20 | 18  
FOR BID: 07 | 20 | 18  
FOR APPROVAL: 07 | 20 | 18  
DRAWN: 06 | 01 | 18  
SHEET TITLE:

THIRD FLOOR - EAST WING  
REFLECTED CEILING PLAN  
SHEET NO.: AE-3

COMCHECK

**COMcheck Software Version 4.3.5.1**  
**Interior Lighting Compliance Certificate**

**Project Information**  
 Energy Code: 2015 IECC  
 Project Title: Dr. Girgis (Expansion and Remodel)  
 Project Type: Alteration

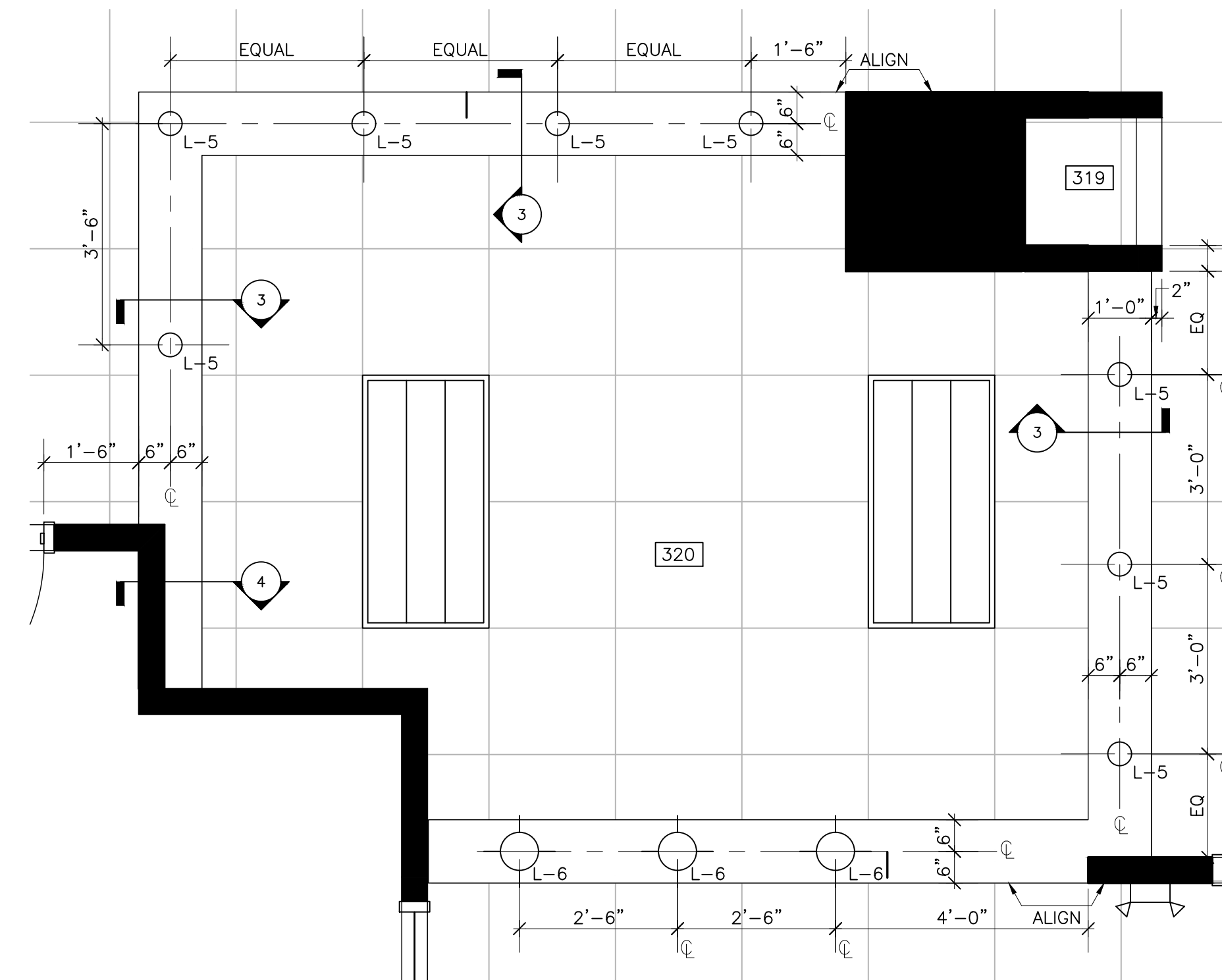
**Construction Site:** 908 North Elm Street, Hinsdale, Illinois 60521  
**Owner/Agent:** CBRE, 911 North Elm Street, Hinsdale, Illinois 60521  
**Designer/Contractor:** The Interior Design Group Ltd., 750 Warrenville Road, Lisle, Illinois 60532

A Area Category	B Floor Area (ft <sup>2</sup> )	C Allowed Watts / ft <sup>2</sup>	D Allowed Watts
1-Healthcare Facility Corridor/Transition < 8 ft wide	1008	0.79	796
2-Healthcare Facility Exam/Treatment	1490	1.66	2473
3-Healthcare Facility Imaging	66	1.51	100
4-Common Space Types: Conference/Meeting/Multipurpose	1345	1.23	1654
5-Common Space Types: Office - Enclosed	682	1.11	757
6-Common Space Types: Restrooms	48	0.88	47
Total Allowed Watts =			5828

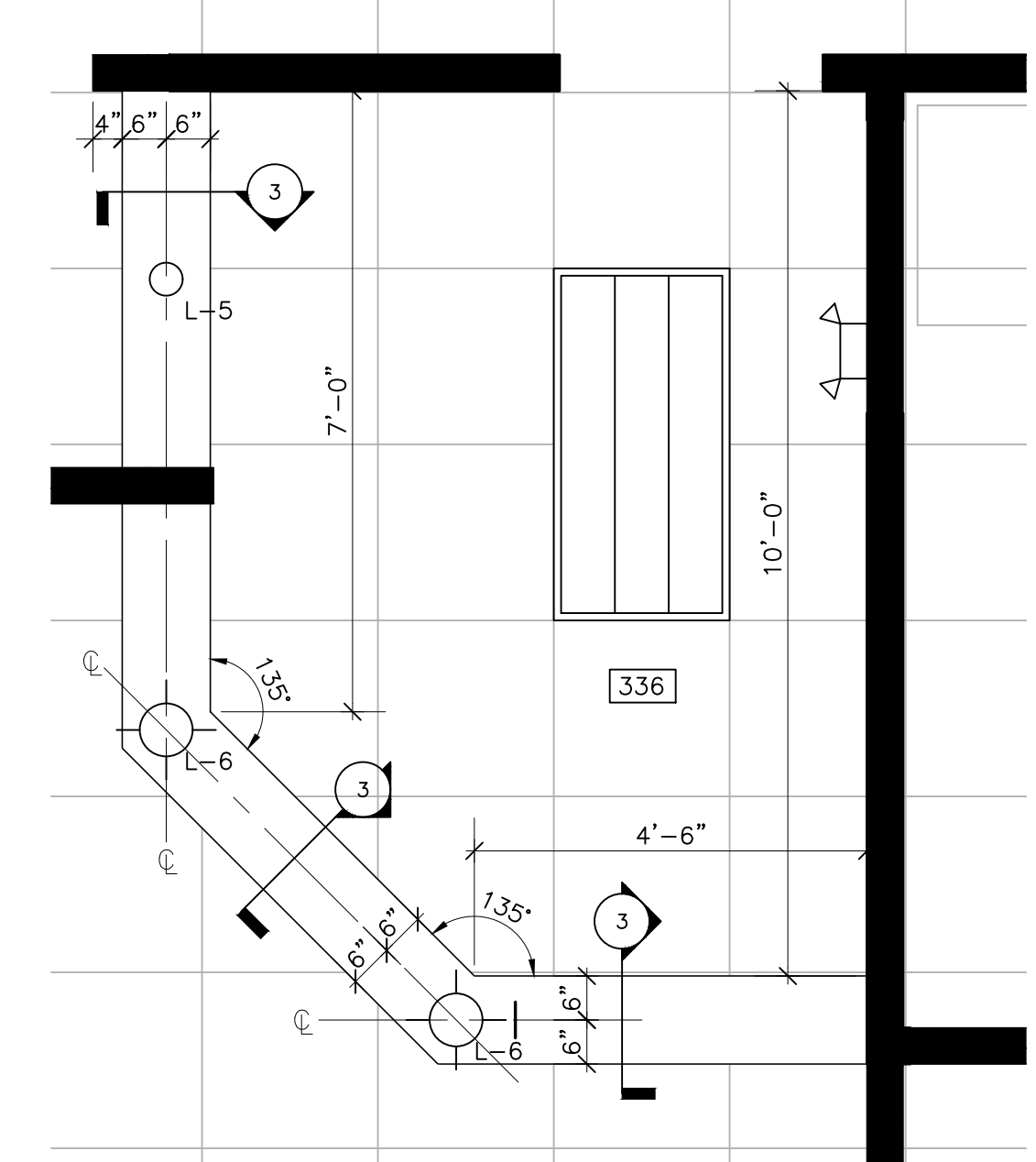
Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	A	B Lamps/ Fixture	C # of Fixture	D E (C X D) Fixture Watt.	
Healthcare Facility Corridor/Transition < 8 ft wide (1008 sq.ft.) LED-L-2: 2x2 LED Direct/Indirect: Other		1	22	30	660
Healthcare Facility Exam/Treatment (1490 sq.ft.) LED-L-1: 2x4 LED Direct/Indirect: Other		1	12	34	408
LED-L-2: 2x2 LED Direct/Indirect: Other		1	2	30	60
LED-L-3: 6" Recessed Can: Other		1	30	14	420
Healthcare Facility Imaging (66 sq.ft.) LED-L-1: 2x4 Direct/Indirect: Other		1	1	34	34
Common Space Types: Conference/Meeting/Multipurpose (1345 sq.ft.) LED-L-1: 2x4 Direct/Indirect: Other		1	9	34	304
LED-L-2: 2x4 Direct/Indirect: Other		1	2	30	60
LED-L-3: 6" Recessed Can: Other		1	24	14	336
LED-L-6: 6" Recessed Can: Other		1	9	12	108
LED-L-6 LED Decorative Pendant: Other		1	5	5	25
Common Space Types: Office - Enclosed (682 sq.ft.) LED-L-1: 2x4 Direct/Indirect: Other		1	11	34	374
LED-L-4: 6" Recessed Can Walkwasher: Other		1	1	14	14
LED-L-7: Under Cabinet Task Lighting: LED Undercabinet Unit 9W		1	6	9	54
Common Space Types: Restrooms (48 sq.ft.) LED-L-1: 2x4 Direct/Indirect: Other		1	1	34	34
Total Proposed Watts =				2791	

**Interior Lighting PASSES**  
 Interior Lighting Compliance Statement  
 Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.3.5.1 and to comply with any applicable mandatory requirements listed in the Inspection Code Book.

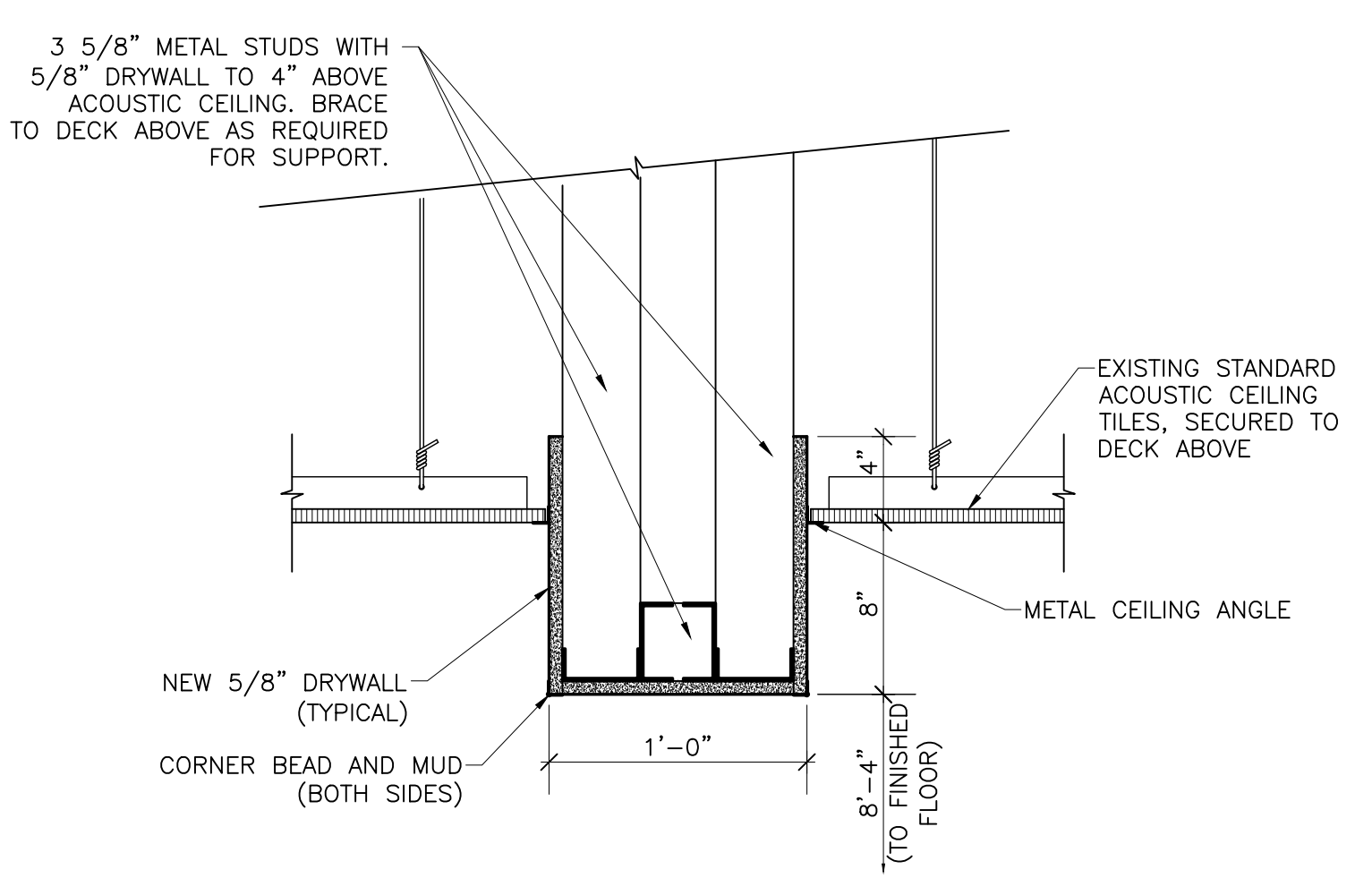
Larry Dohrer, Architect  
 Name: Title: Signature: Date: 7-19-18



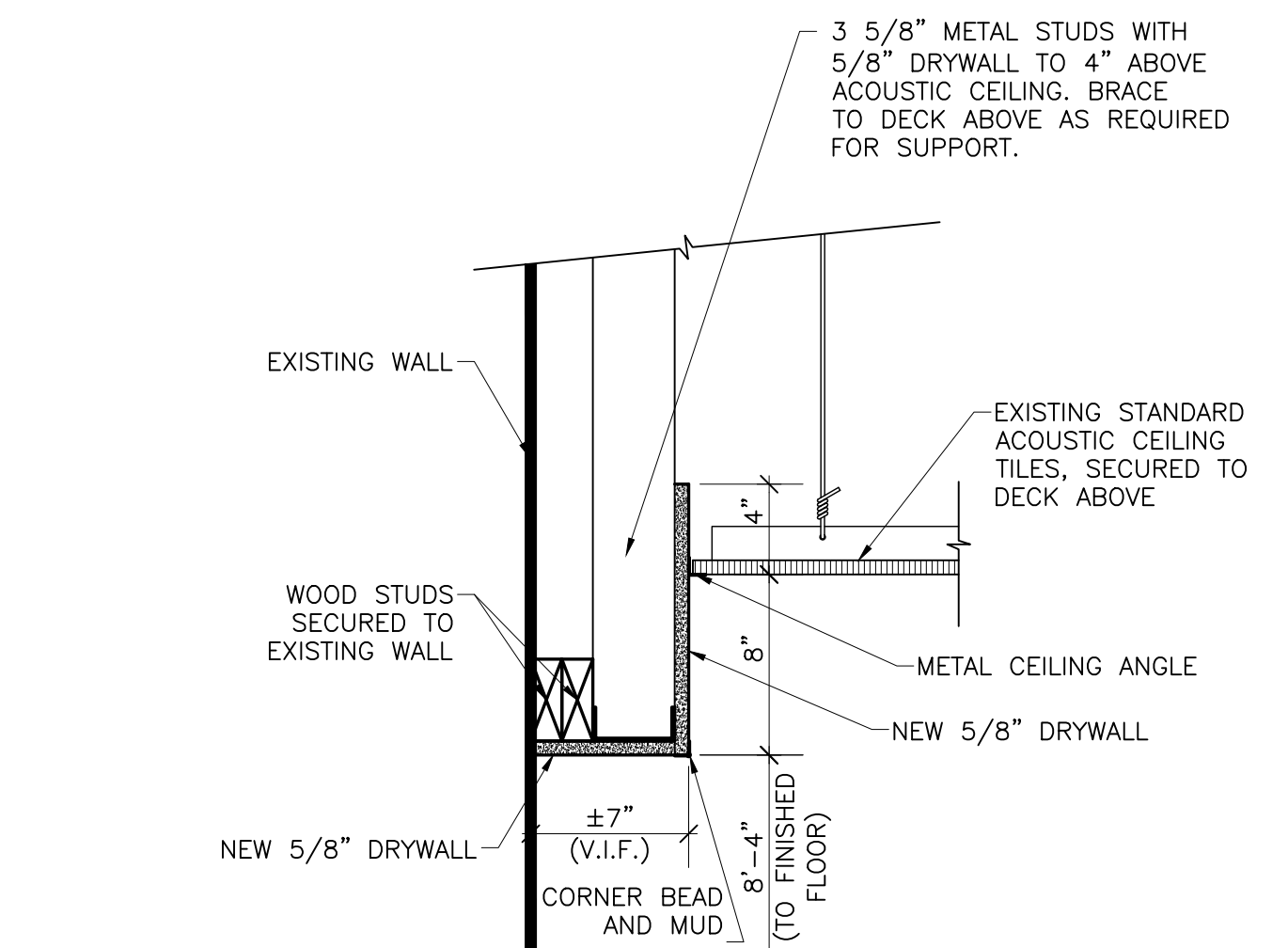
1 ENLARGED PLAN VIEW RECEPTION #320 SCALE: 1/2" = 1'-0"



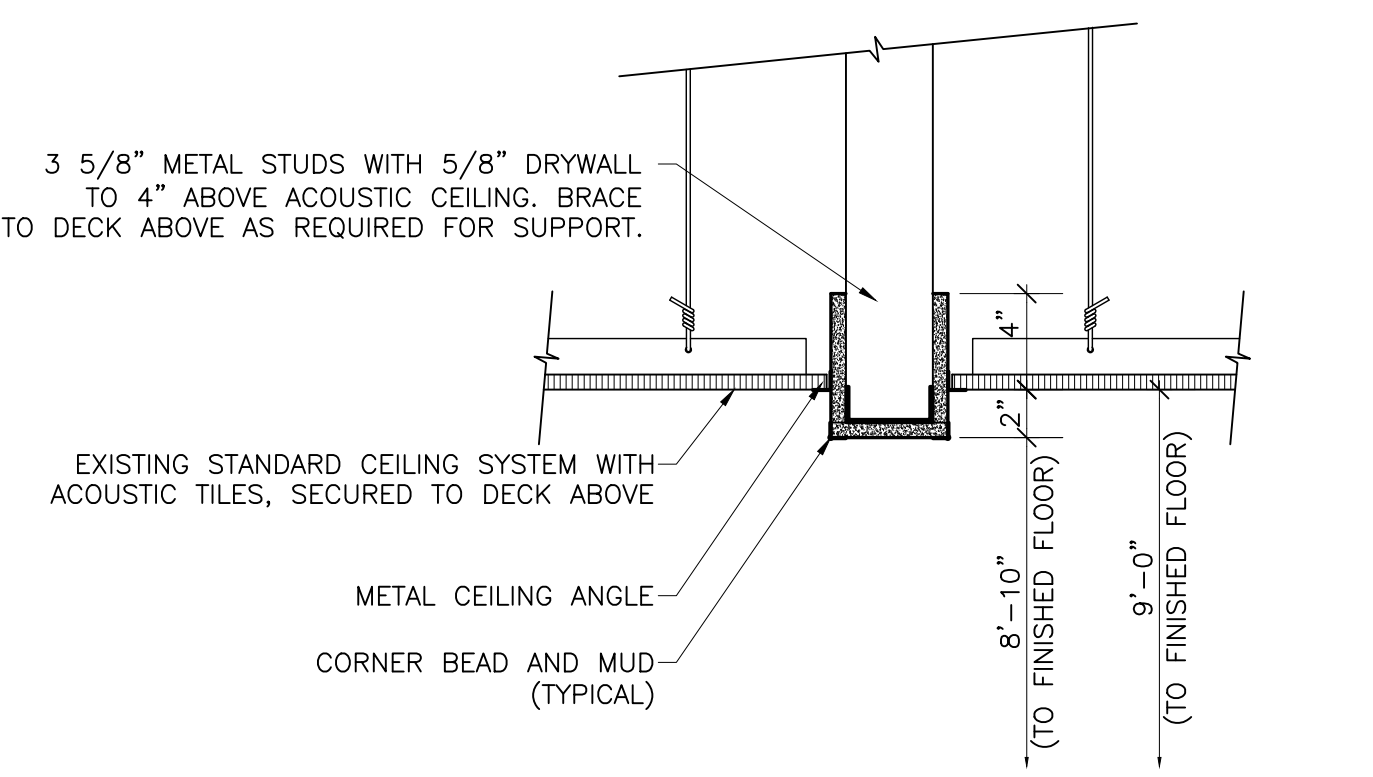
2 ENLARGED PLAN VIEW RECEPTION #336 SCALE: 1/2" = 1'-0"



3 DETAIL - DRYWALL SOFFIT/ACOUSTIC CEILING SCALE: 1 1/2" = 1'-0"



4 DETAIL - DRYWALL SOFFIT/ACOUSTIC CEILING SCALE: 1 1/2" = 1'-0"



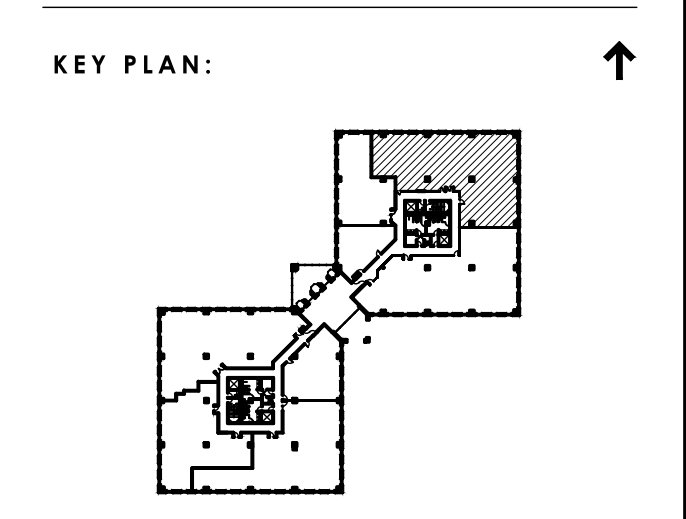
5 DETAIL - DRYWALL HEADER SCALE: 1 1/2" = 1'-0"



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 DRAWN BY: LAUREL A. LANG  
 REVISED BY:

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 908 NORTH ELM STREET  
 HINSDALE, ILLINOIS 60521

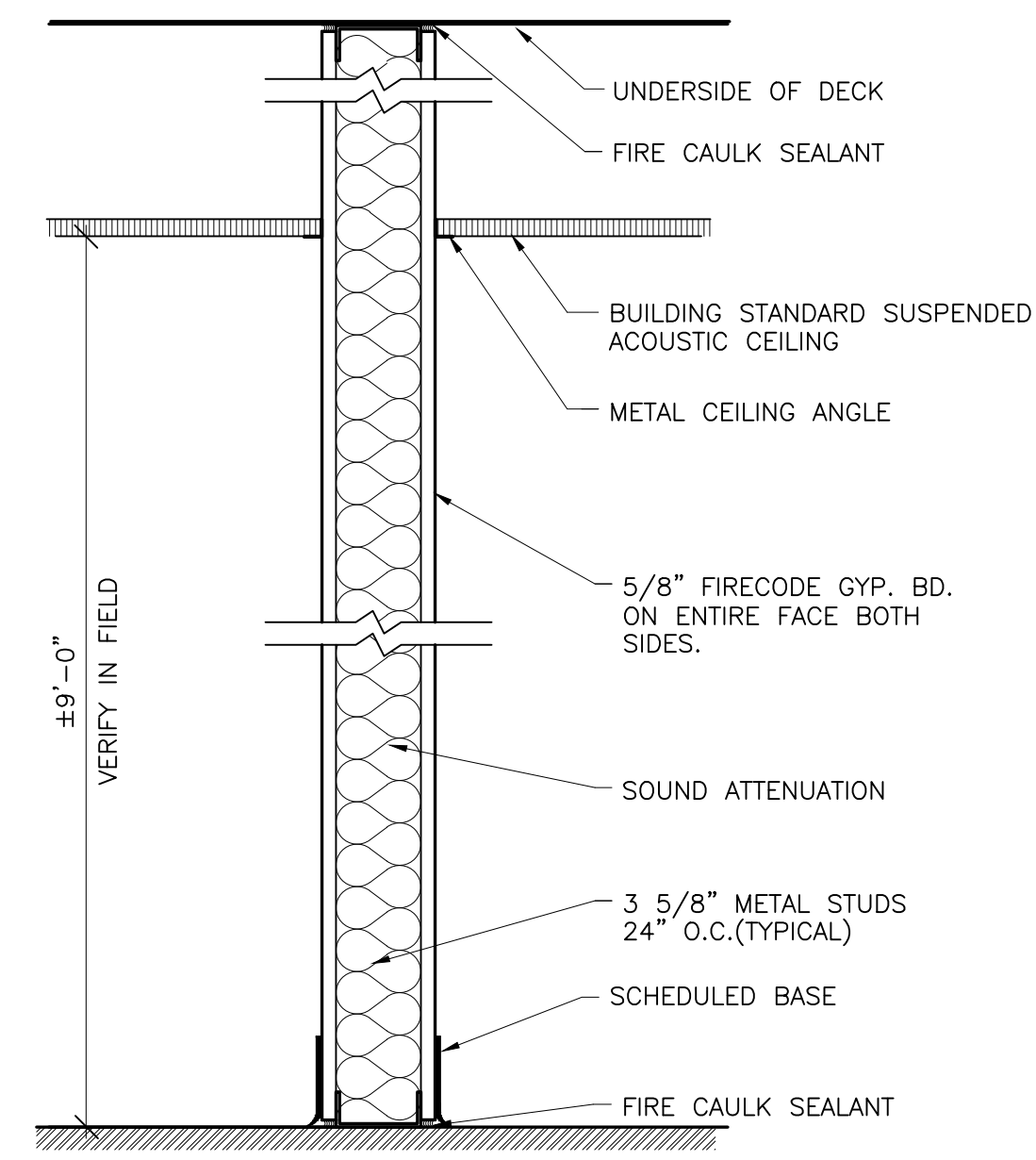


TENANT:  
 DR. GIRGIS  
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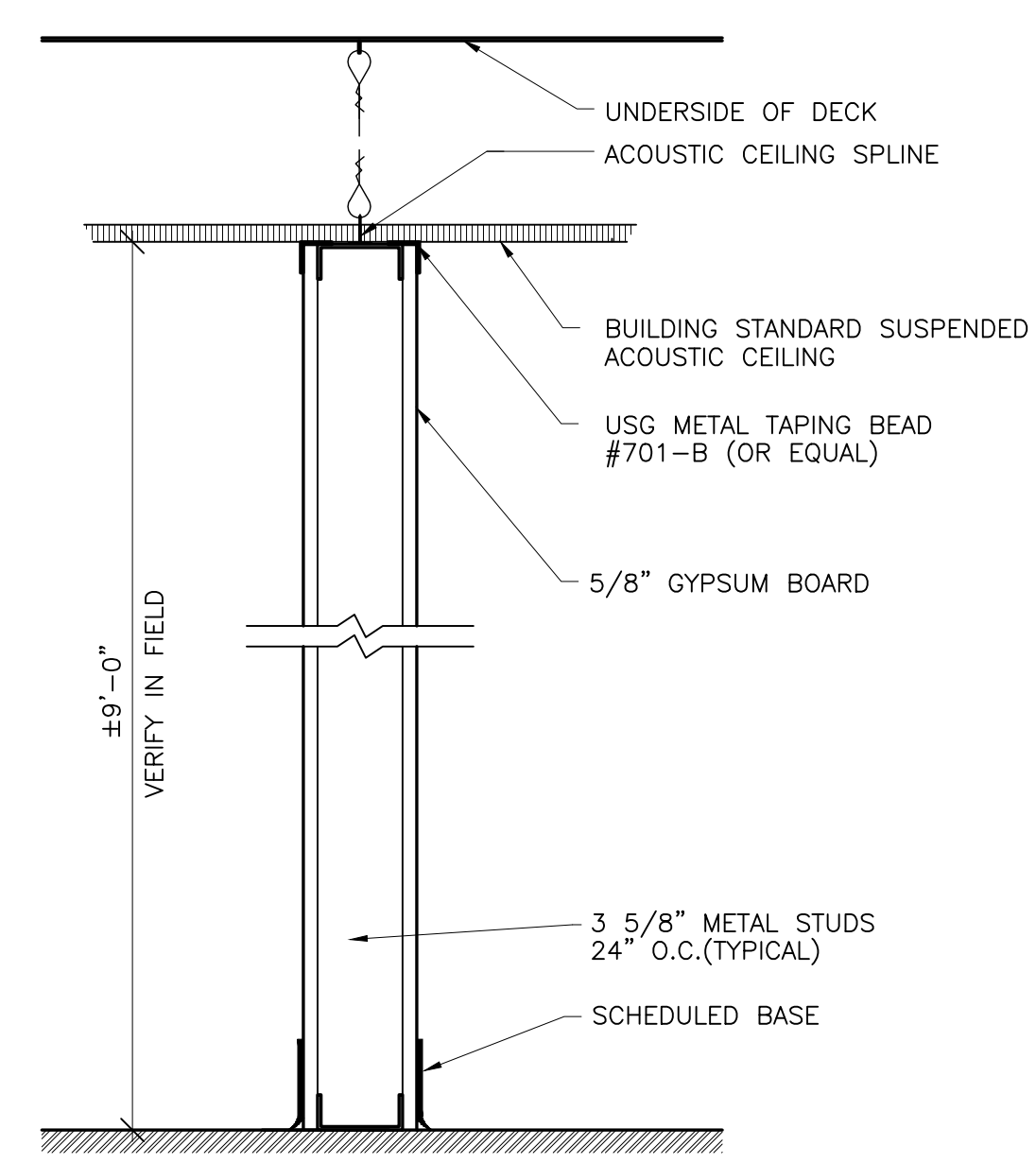
△ REVISED FOR BID: 08/04/18  
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 FOR BID: 07/20/18  
 FOR APPROVAL: 07/20/18  
 DRAWN: 06/01/18  
 SHEET TITLE:

DRYWALL SOFFITS - RECEPTIONS #320 & #336  
 ENLARGED PLAN VIEWS, SOFFIT DETAILS  
 AND COMCHECK  
 SHEET NO.: AE-4



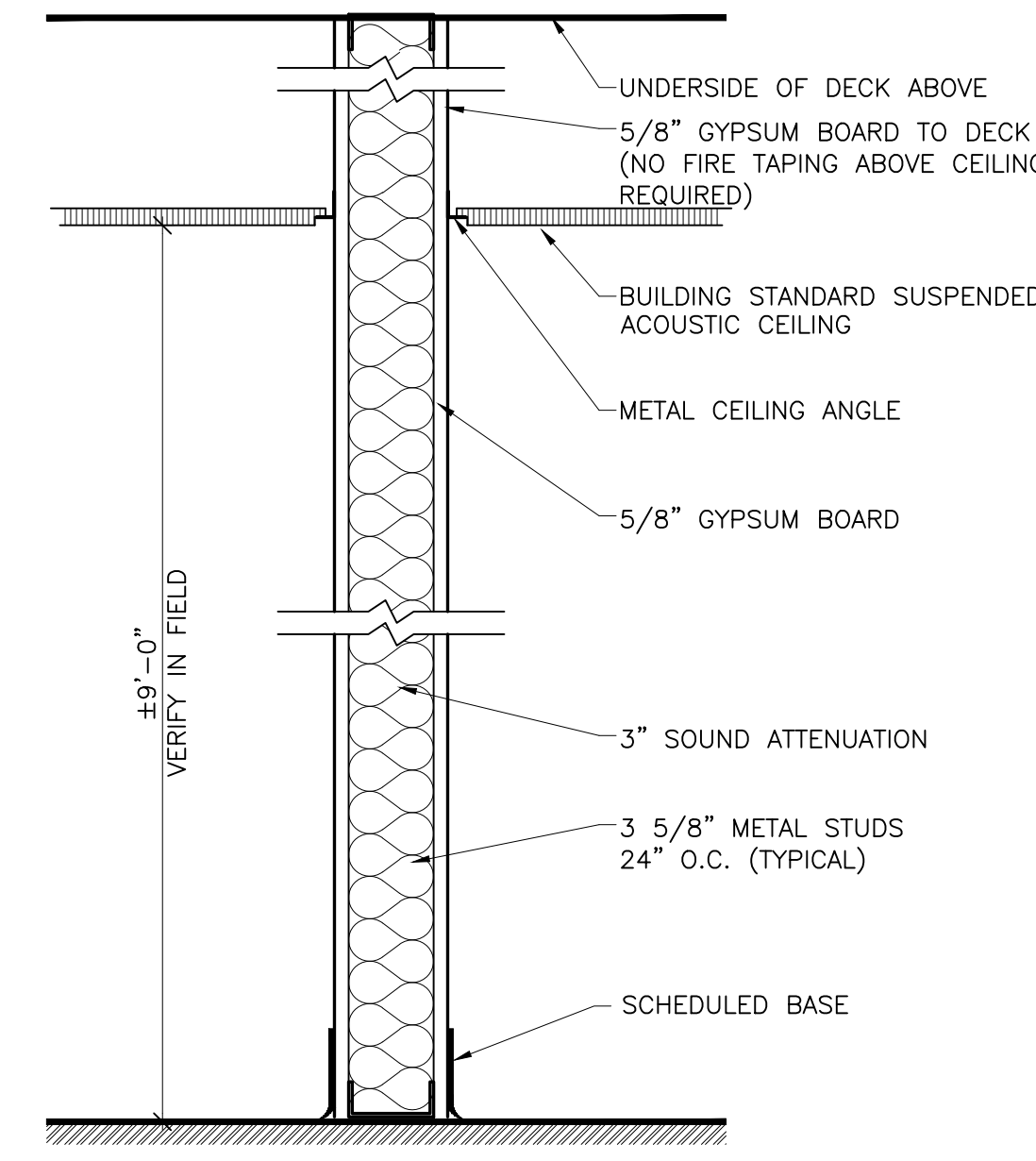
**1 HOUR DEMISING PARTITION**  
UL DESIGN NO: U465 SCALE: 1 1/2"=1'-0"

NEW 1 HOUR FIRE RATED DEMISING PARTITION W/ INSULATION, FLOOR TO UNDERSIDE OF DECK ABOVE



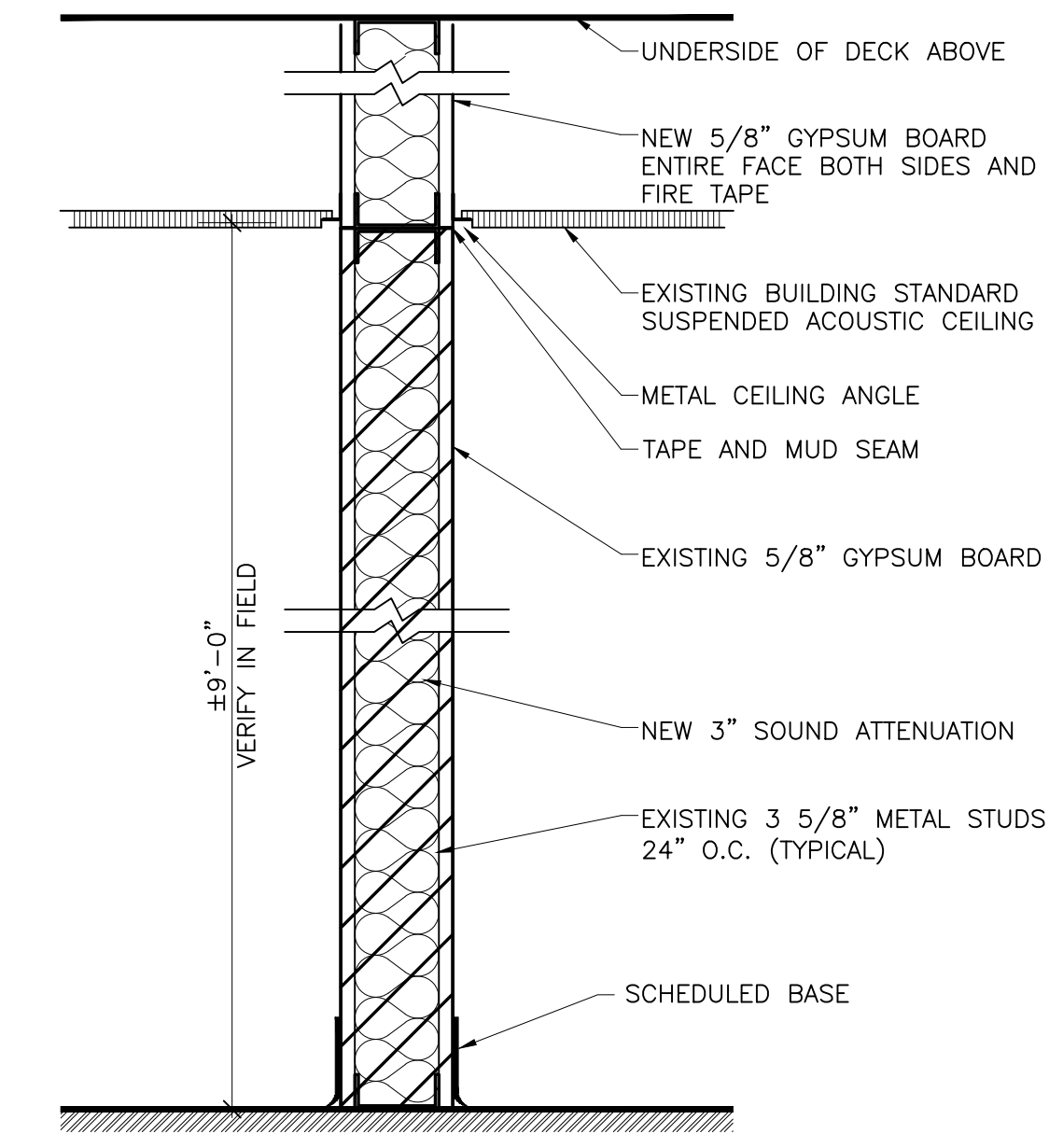
**INTERIOR PARTITION**  
SCALE: 1 1/2"=1'-0"

NEW INTERIOR PARTITION, FLOOR TO UNDERSIDE OF FINISHED CEILING



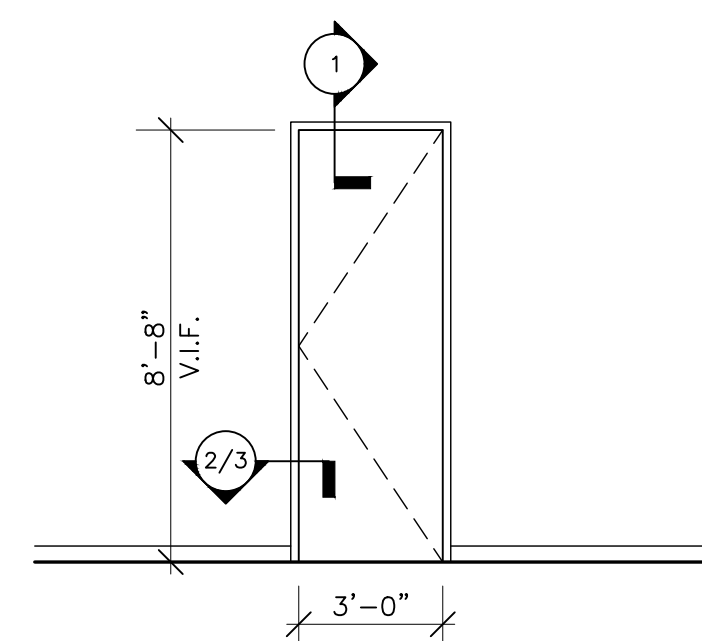
**SECTION - INTERIOR PARTITION W/ INSULATION**  
NOT RATED SCALE: 1 1/2"=1'-0"

NEW NON-RATED PARTITION, FLOOR TO UNDERSIDE OF DECK ABOVE, WITH INSULATION

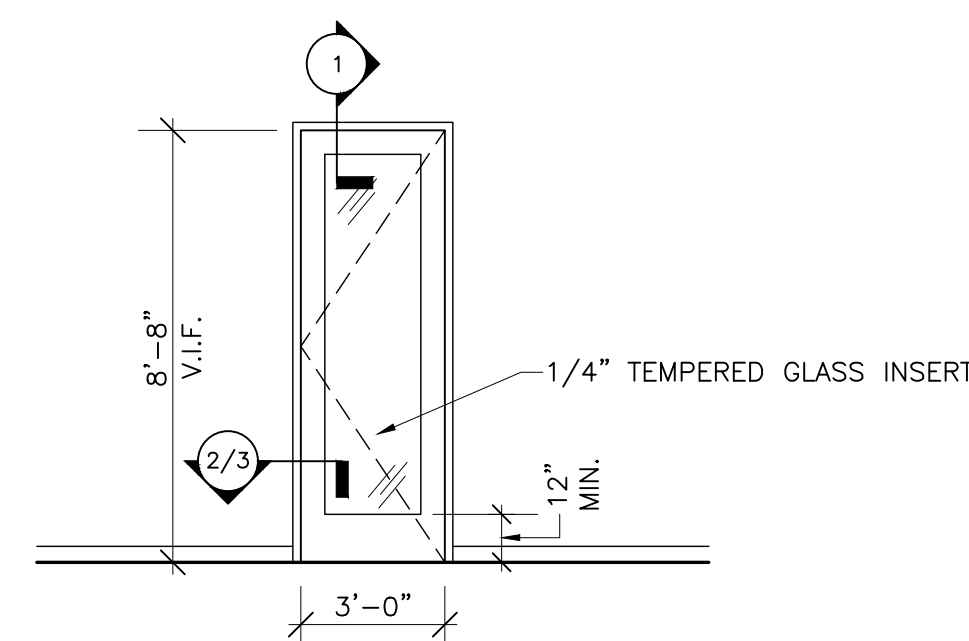


**SECTION - RETROFITTED FULL HEIGHT PARTITION**  
NOT RATED SCALE: 1 1/2"=1'-0"

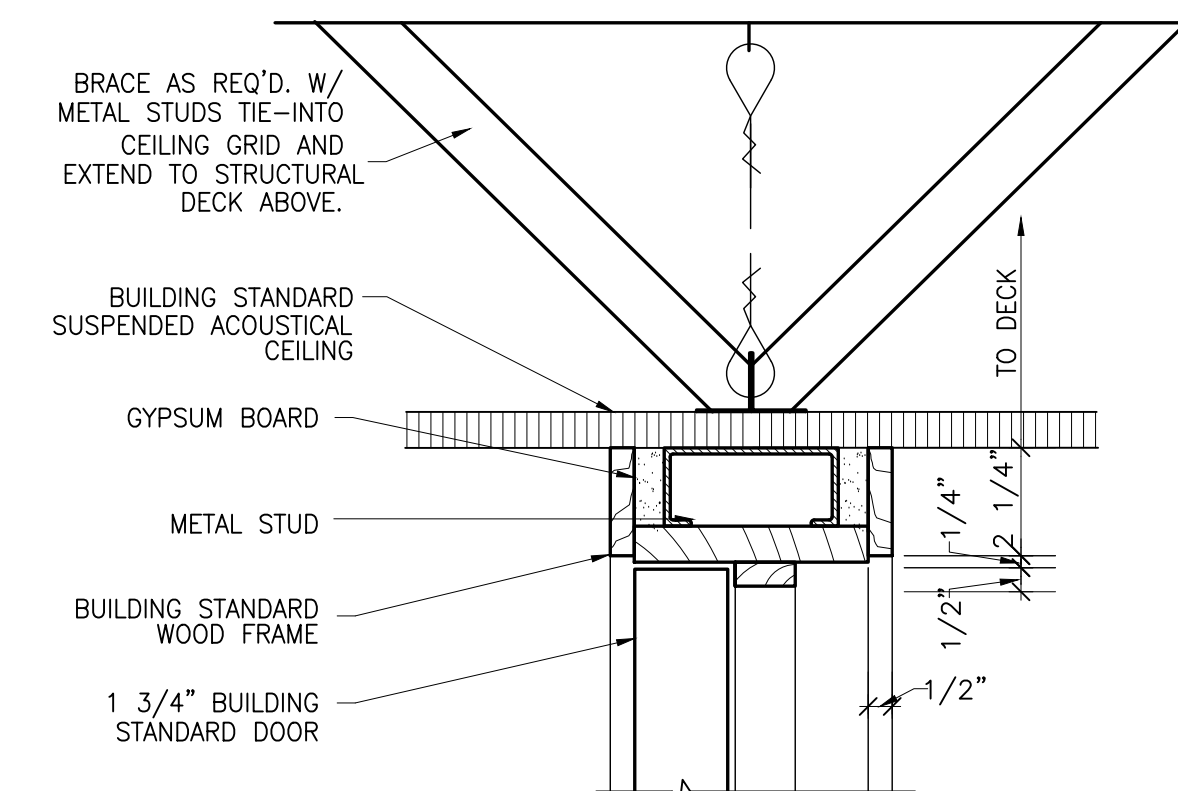
EXISTING INTERIOR PARTITION, RETROFITTED WITH INSULATION, FLOOR TO UNDERSIDE OF DECK ABOVE, NON RATED (SEE SHEET "A-2" FOR LOCATIONS)



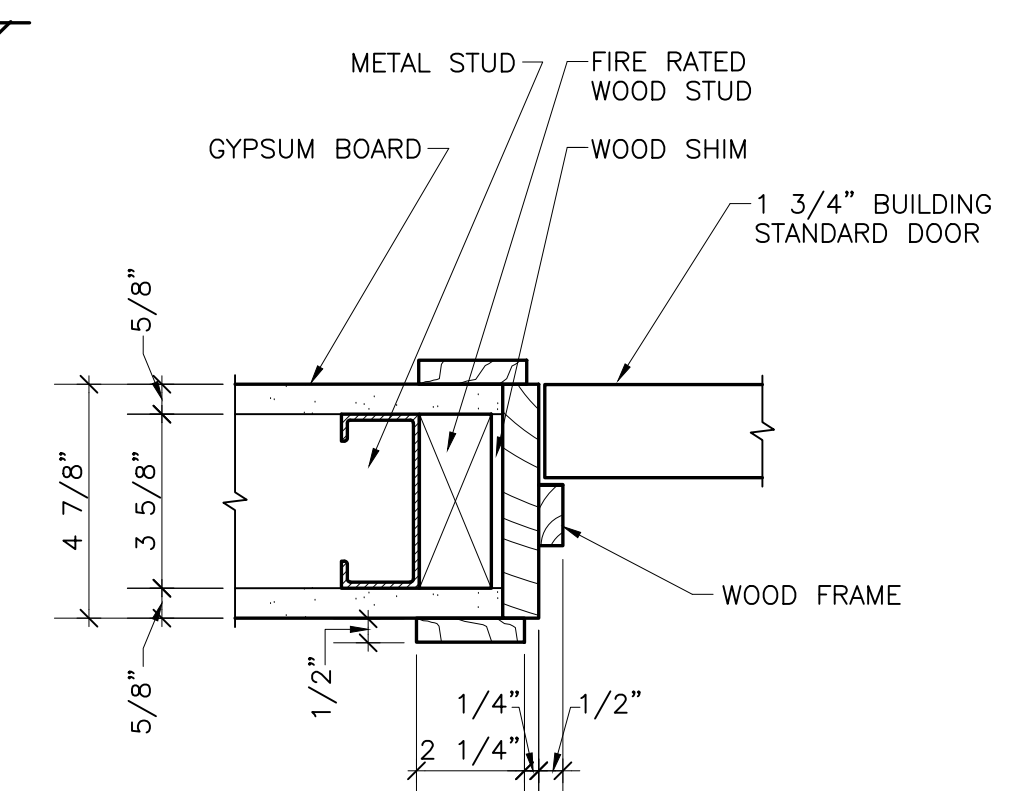
**A ENTRY/EGRESS DOOR**  
WOOD FRAME SCALE: 1/4"=1'-0"



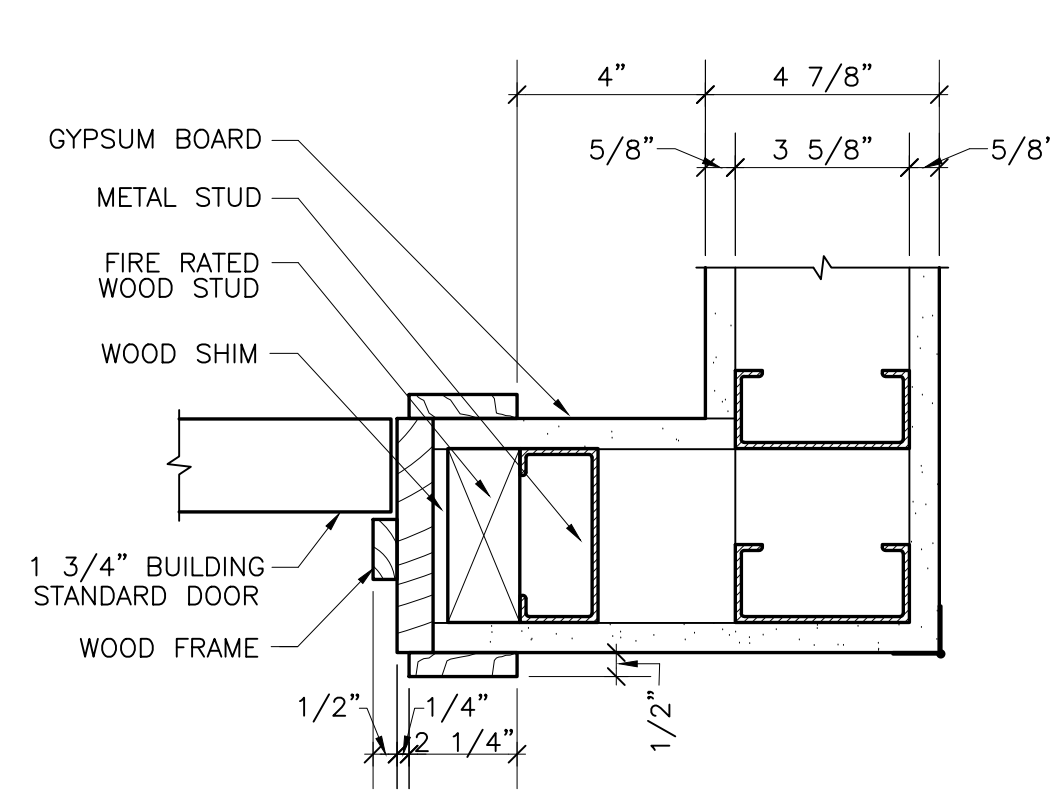
**B TYPICAL INTERIOR DOOR W/GLASS INSERT**  
WOOD FRAME SCALE: 1/4"=1'-0"



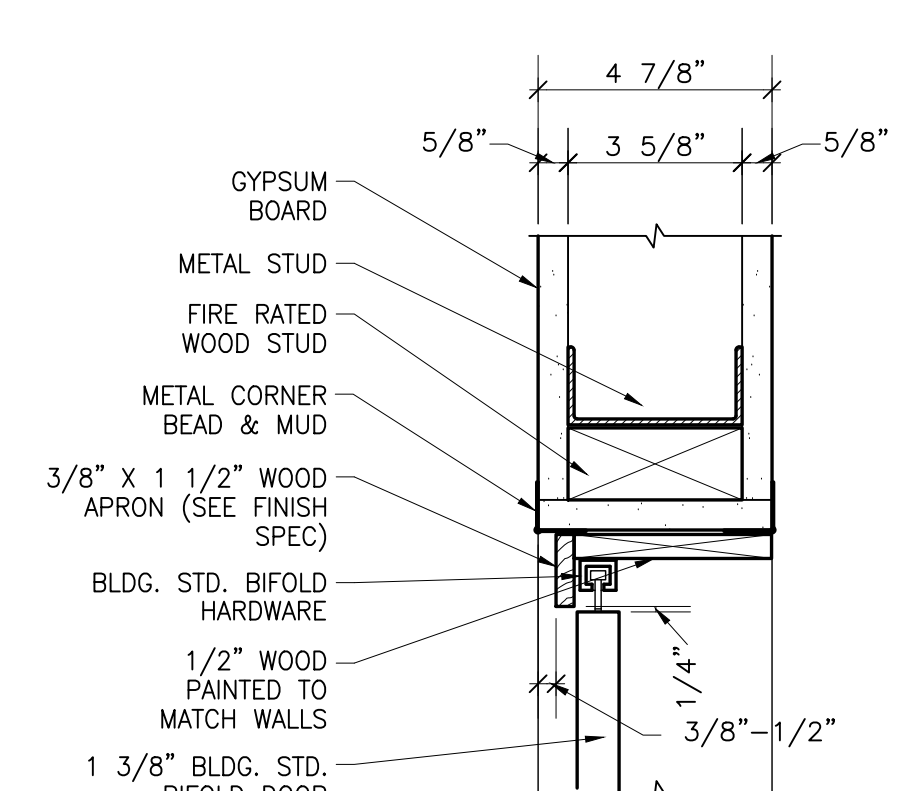
**1 HEAD DETAIL**  
SCALE: 3"=1'-0"



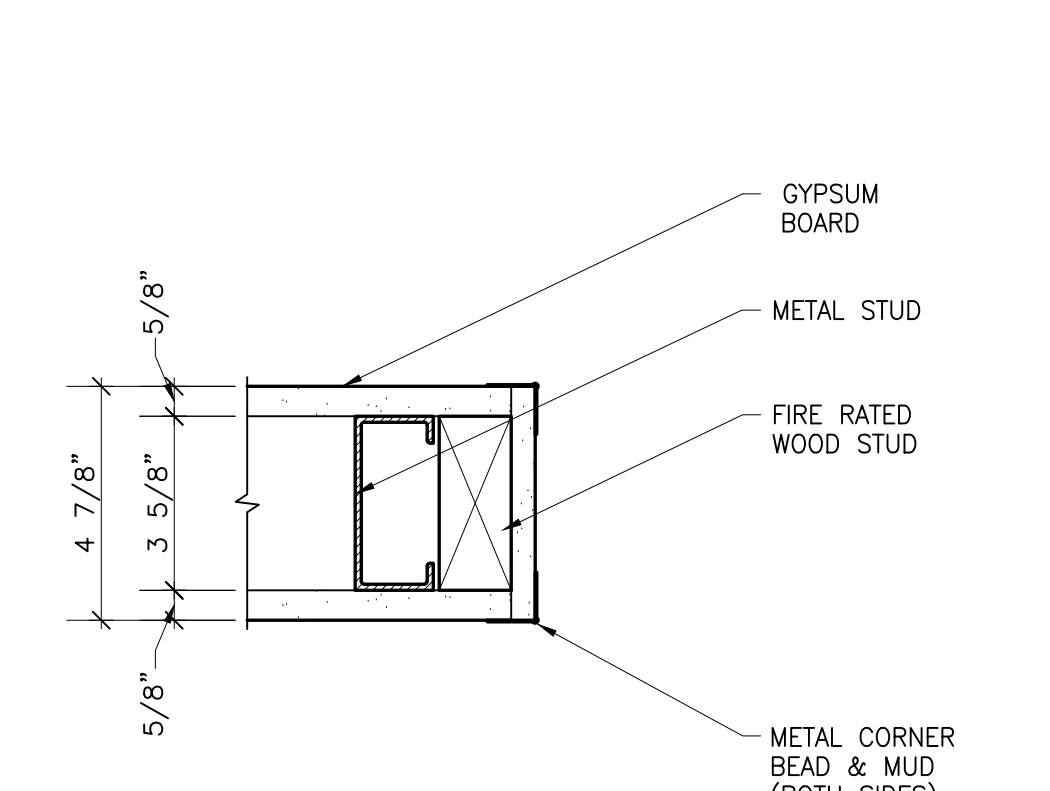
**2 JAMB DETAIL**  
SCALE: 3"=1'-0"



**3 JAMB DETAIL**  
SCALE: 3"=1'-0"



**4 HEAD DETAIL**  
SCALE: 3"=1'-0"



**5 JAMB DETAIL**  
SCALE: 3"=1'-0"



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REVISED BY:

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HINSDALE, ILLINOIS 60521

**TENANT:**

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DRAWN: 06/01/18  
SHEET TITLE:

TENANT STANDARD DETAILS

SHEET NO.:

TS-1

**SHEET NOTES**

- ALL CABINET HARDWARE IS TO BE SUPPLIED BY CABINET CONTRACTOR.
- CABINET CONTRACTOR SHALL TAKE ANY NECESSARY STEPS TO GUARANTEE MILLWORK SHALL BE FREE OF SCRATCHES, PAINT, ETC. UPON TURNING SPACE OVER TO TENANT/OWNER.
- CABINET CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD FOR BUILT-IN WORK PRIOR TO FABRICATION.
- CABINET CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL NECESSARY WOOD BLOCKING FOR CABINET/MILLWORK INSTALLATION WITH GENERAL CONTRACTOR PRIOR TO DRYWALL INSTALLATION.
- ALL CABINET/MILLWORK BLOCKING TO BE OF FIRE RESISTANT MATERIALS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- ALL MILLWORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECTURAL WOODWORK INSTITUTE QUALITY STANDARD FOR CUSTOM GRADE OR EQUAL.
- WHERE PLUMBING WORK IS SPECIFIED IN CONJUNCTION WITH CABINET WORK, NECESSARY CUTOUPS, AS REQUIRED BY THE CABINET CONTRACTOR, ARE TO BE COORDINATED WITH THE PLUMBING CONTRACTOR. ALL PLUMBING SUPPLIES AND FIXTURES ARE TO BE PROVIDED BY THE PLUMBING CONTRACTOR.
- WHERE ELECTRICAL WORK IS SPECIFIED IN CONJUNCTION WITH CABINET WORK, NECESSARY CUTOUPS FOR OUTLETS, SWITCHES, FIXTURES, ETC., AS REQUIRED BY THE CABINET CONTRACTOR, ARE TO BE COORDINATED WITH THE ELECTRICAL CONTRACTOR. ALL ELECTRICAL SUPPLIES AND FIXTURES ARE TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR.

**SHEET NOTES**

- ALL CABINET/MILLWORK IS TO BE FINISHED, DELIVERED AND INSTALLED BY THE CABINET CONTRACTOR.
- CABINET CONTRACTOR IS TO SUBMIT SHOP DRAWINGS TO THE INTERIOR DESIGN GROUP LTD. FOR APPROVAL PRIOR TO FABRICATION.
- ALL PLASTIC LAMINATE CABINETRY IS TO RECEIVE A VERTICAL GRADE PLASTIC LAMINATE ON SIDES (INSIDE AND OUT) AND A HORIZONTAL GRADE PLASTIC LAMINATE ON THE TOP AND ANY HORIZONTAL SURFACE UNLESS OTHERWISE NOTED.
- ALL CABINETRY IS TO BE FINISHED ON ALL SIDES VISIBLE. CABINET CONTRACTOR IS TO VERIFY WITH THE INTERIOR DESIGN GROUP LTD. PRIOR TO FABRICATION UNLESS OTHERWISE NOTED.
- CABINET CONTRACTOR SHALL PROVIDE AND FIELD INSTALL ALL WIRE MOLD AND/OR ALL WIRE GROMMETS SPECIFIED. ALL LOCATIONS TO BE COORDINATED WITH CLIENT IN FIELD PRIOR TO INSTALLATION.
- CABINET CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL MILLWORK (INSIDE AND OUT) UPON COMPLETION.

**ROOM SCHEDULE**

NUMBER	ROOM NAME
301	WAITING ROOM
302	CONSULT ROOM
303	AUDIOLOGY (EXISTING)
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305	CONSULT ROOM
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334	WAITING ROOM
335	WAITING ROOM
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337	AUDIOLOGY OFFICE
338	STAFF MEETING ROOM
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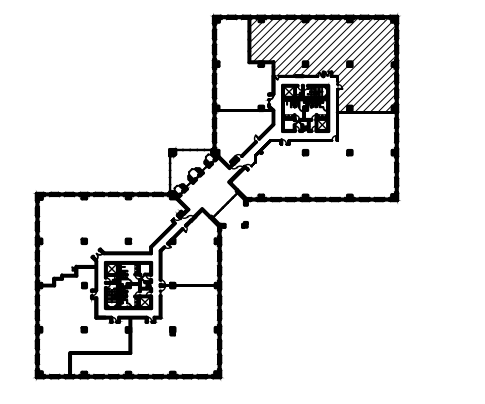
**MANAGEMENT:**



**MILLWORK SPECIFICATIONS**

- PL-1 PLASTIC LAMINATE (COUNTERTOP)**  
 MFR: ARBORITE  
 PATTERN: ARTIC ICE  
 PATTERN #: P-395 VL  
 COLOR: GLACE ARTIQUE
- PL-2 PLASTIC LAMINATE (BASE AND WALL CABINETS AND SUPPORT PANELS)**  
 MFR: NEVEMAR  
 PATTERN: ZEPHRANO WHITE  
 PATTERN #: WZ0080-TL, TIMBERLINE
- PL-3 PLASTIC LAMINATE (WALL CABINETS AND RECEPTION DESK FRONT PANELS)**  
 MFR: LAMINART  
 PATTERN: WHITE SMOKE CROSS GRAIN  
 PATTERN #: 3120-E  
 FINISH: VELLUM
- PL-4 PLASTIC LAMINATE (RECEPTION DESK FRONT PANELS AND SUPPORT PANELS)**  
 MFR: LAMINART  
 PATTERN: TRUFFLE CAMBRIC  
 PATTERN #: 5323-L  
 FINISH: CRISS CROSS
- PL-5 PLASTIC LAMINATE (WORKSURFACES)**  
 MFR: WILSONART  
 PATTERN: CLASSIC LINEN  
 PATTERN #: 4343-38  
 FINISH: FINE VELVET
- ML-1 METAL LAMINATE (REVEALS)**  
 DIST: PARKWOOD CHICAGO  
 MFR: CHEMETAL  
 COLOR: SATIN SILVER ALUMINUM  
 COLOR #: 909
- SS-1 SOLID SURFACE (TRANSACTION COUNTERS AND WIFI COUNTERS)**  
 MFR: VISCOSTONE  
 COLOR: ARGENTO  
 COLOR #: BQ8780  
 FINISHED: POLISHED

**KEY PLAN:**



**TENANT:**

**DR. GIRGIS (REMODEL & EXPANSION)**  
 ELM PLAZA  
 908 NORTH ELM STREET  
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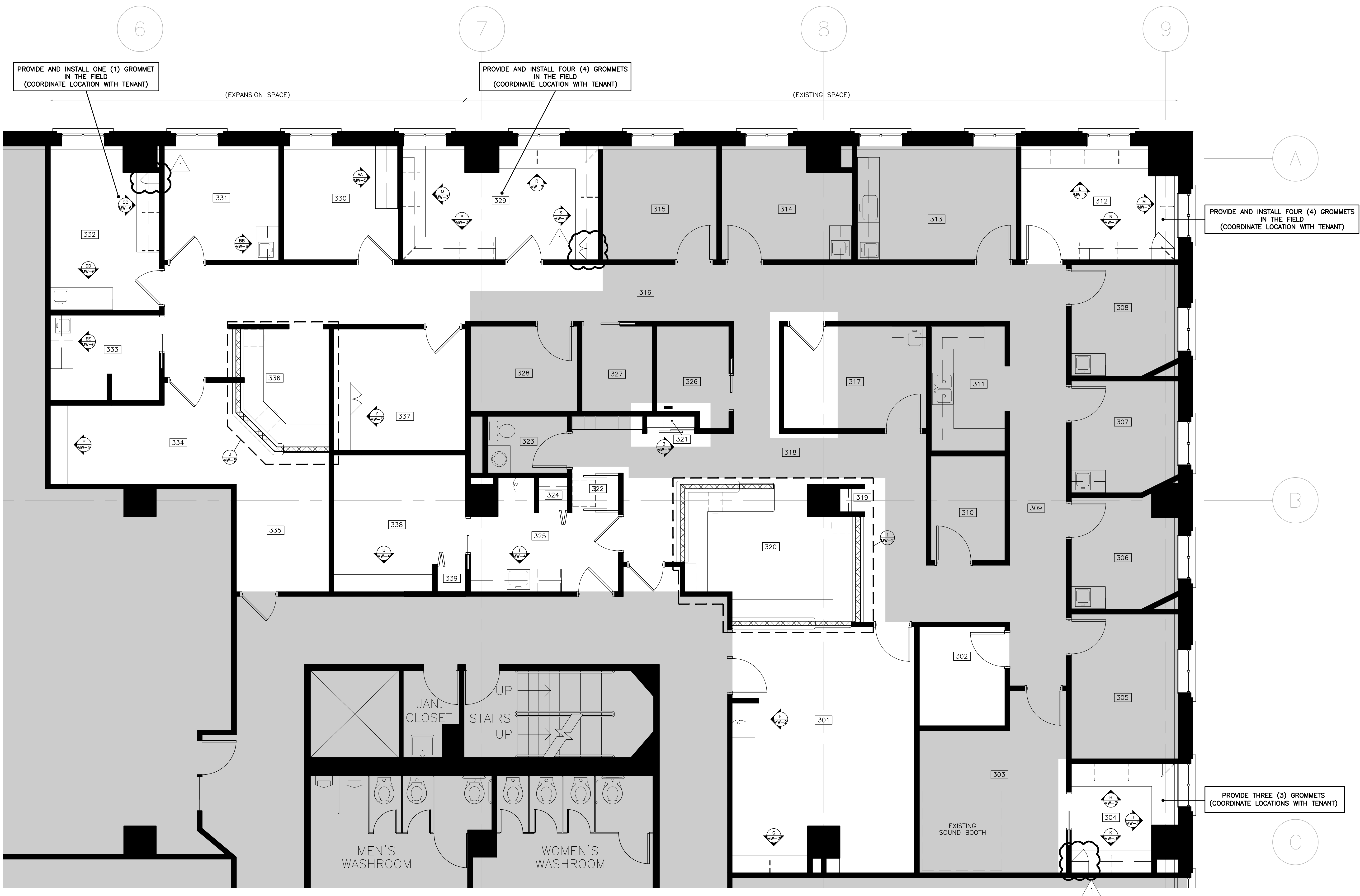
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THIRD FLOOR - EAST WING  
 MILLWORK PLAN

SHEET NO. MW-1



THIRD FLOOR – EAST WING – MILLWORK PLAN  
 SCALE: 1/4"=1'-0"

**NOTE:**  
 ALL AREAS ILLUSTRATED WITH A HATCH ARE NOT INCLUDED IN THIS CONTRACT.

**NOTE:**  
ALL CABINET INTERIORS ARE TO BE WHITE MELAMINE.

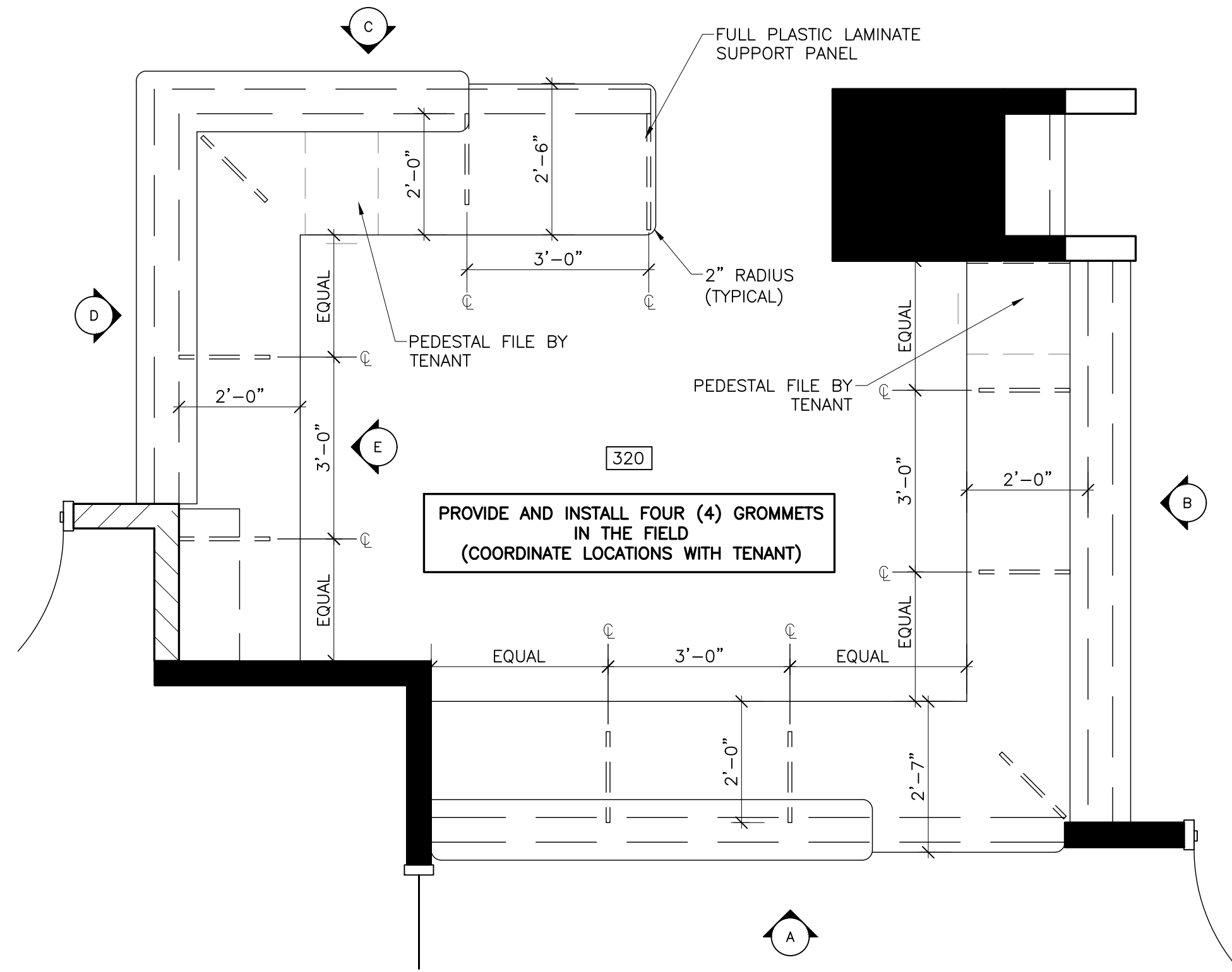
**NOTE:**  
SEE ELEVATIONS FOR FINISH LOCATIONS.



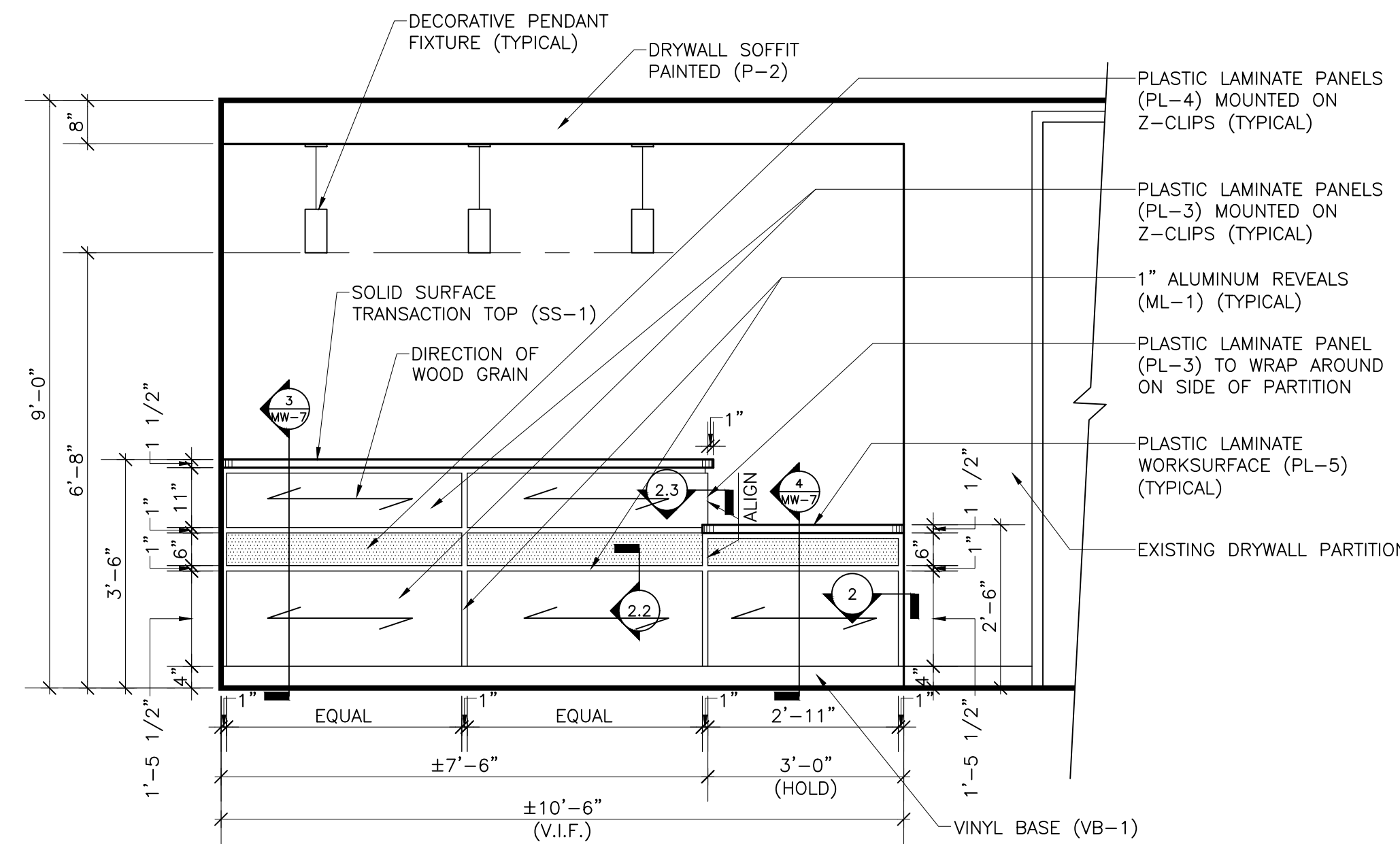
**THE INTERIOR DESIGN GROUP LTD.**  
750 WARRENVILLE ROAD | SUITE 103  
Lisle, ILLINOIS 60532  
PHONE 630 | 348 | 0400  
FAX 630 | 348 | 0388  
www.idgtd.com

**PROJECT DESIGN TEAM:**  
ARCHITECT: LARRY DOHRER  
DESIGNER: DIANE HANSA  
REVIEWER: TIMOTHY R. LIES  
DRAWN BY: LAUREL A. LANG  
REVISED BY:

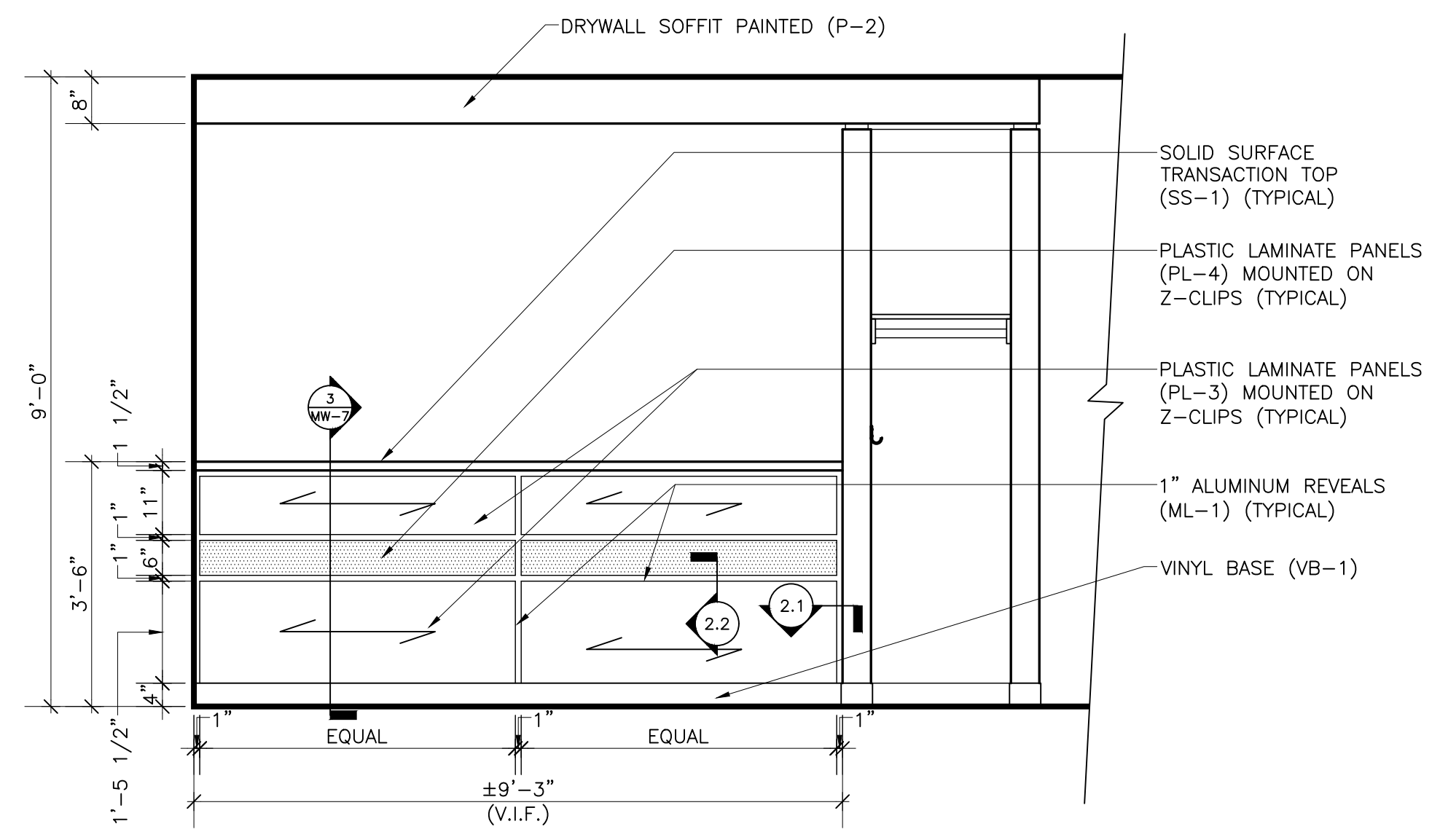
**MANAGEMENT:**  
**CBRE**  
ELM PLAZA  
908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521



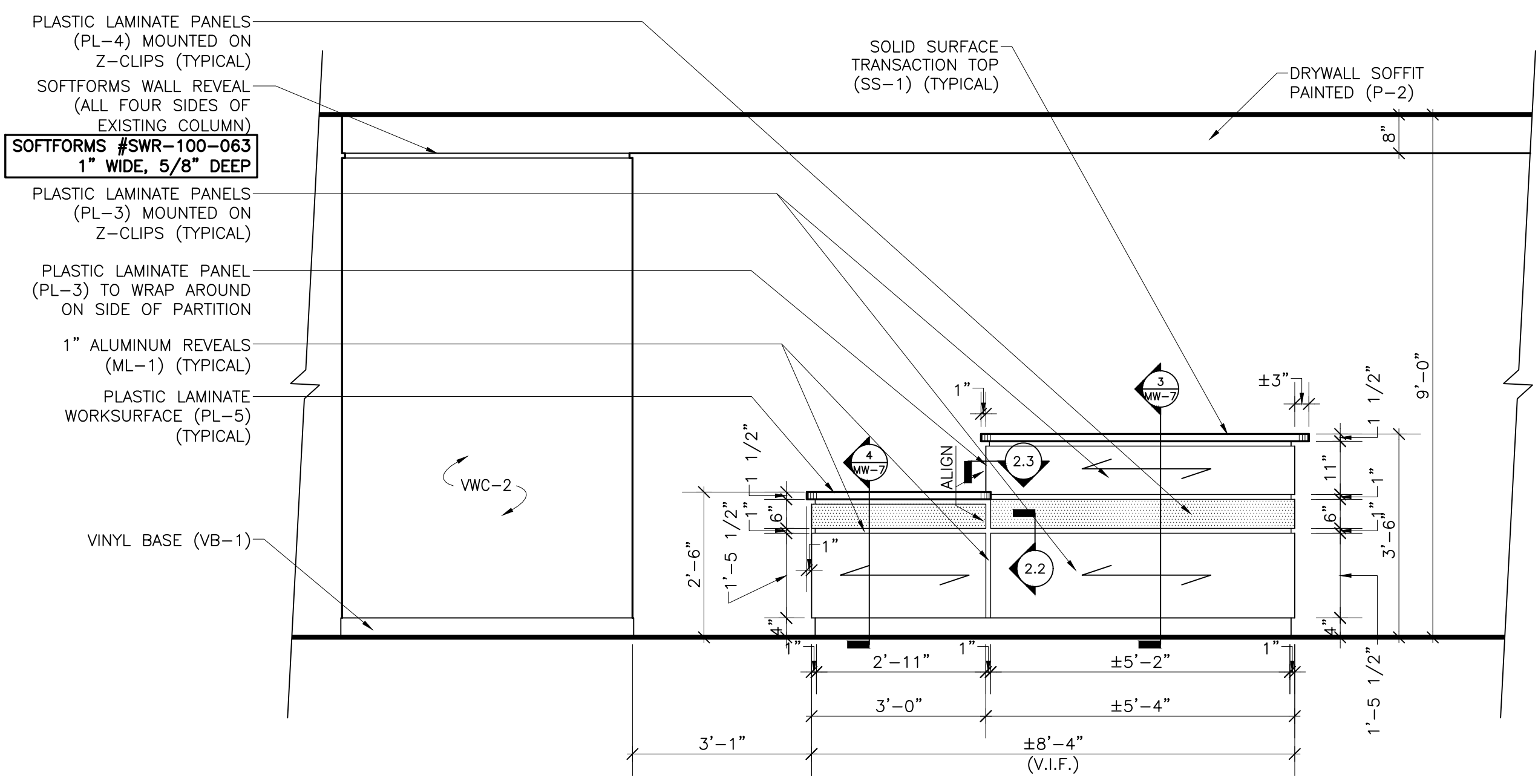
1 ENLARGED PLAN VIEW - RECEPTION #320  
SCALE: 1/2" = 1'-0"



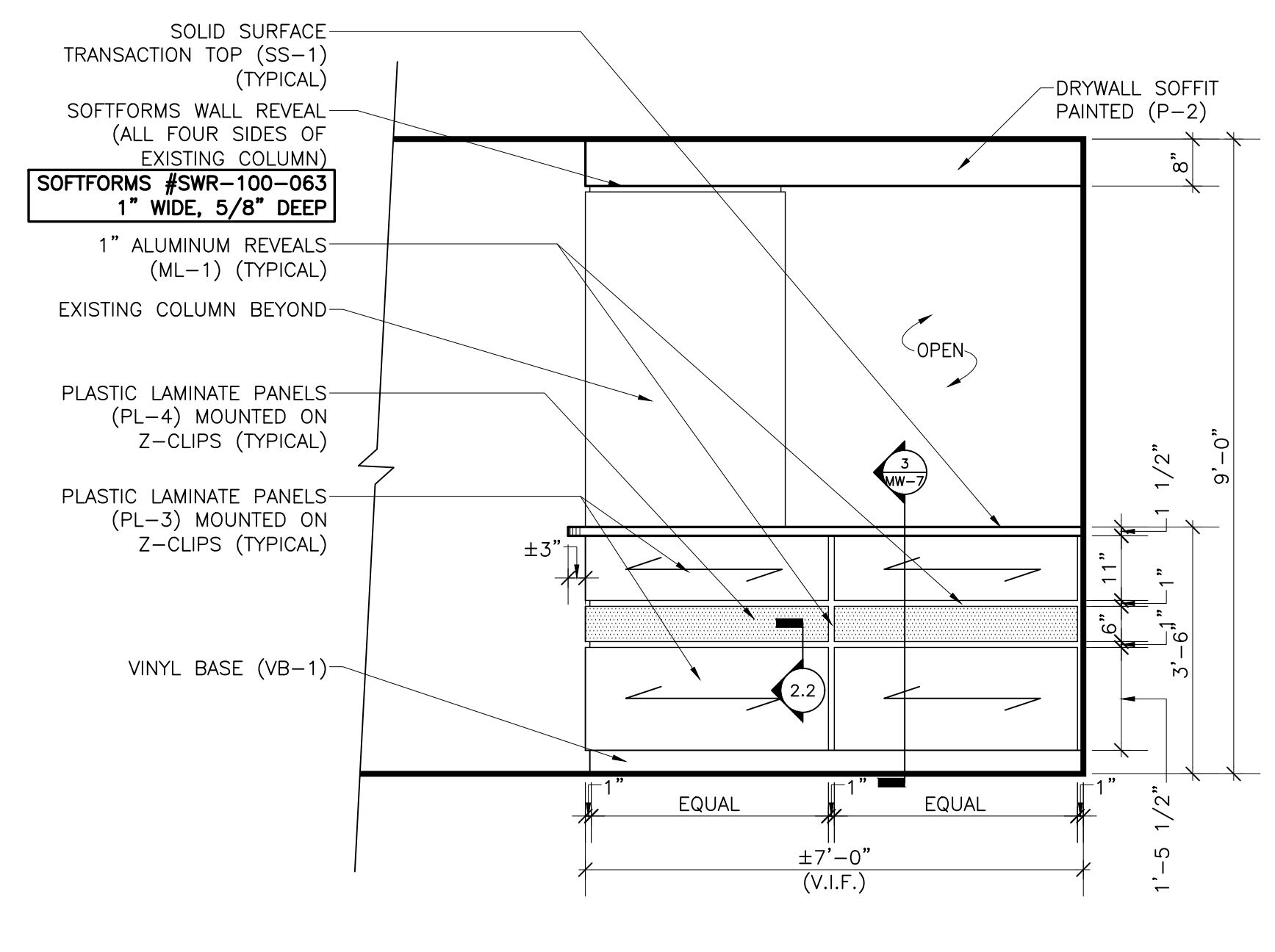
A ELEVATION - MILLWORK - RECEPTION #320  
SCALE: 1/2" = 1'-0"



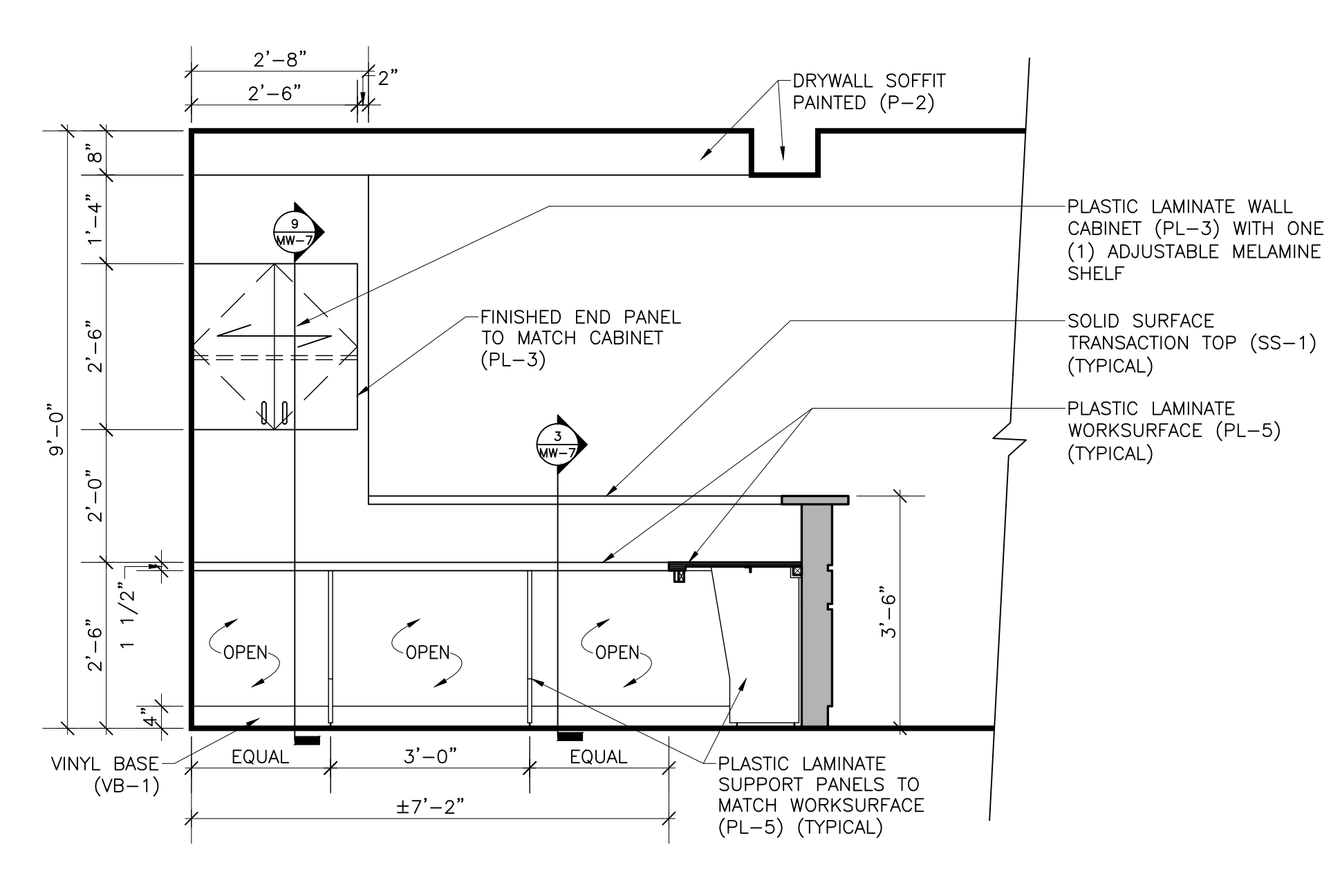
B ELEVATION - MILLWORK - RECEPTION #320  
SCALE: 1/2" = 1'-0"



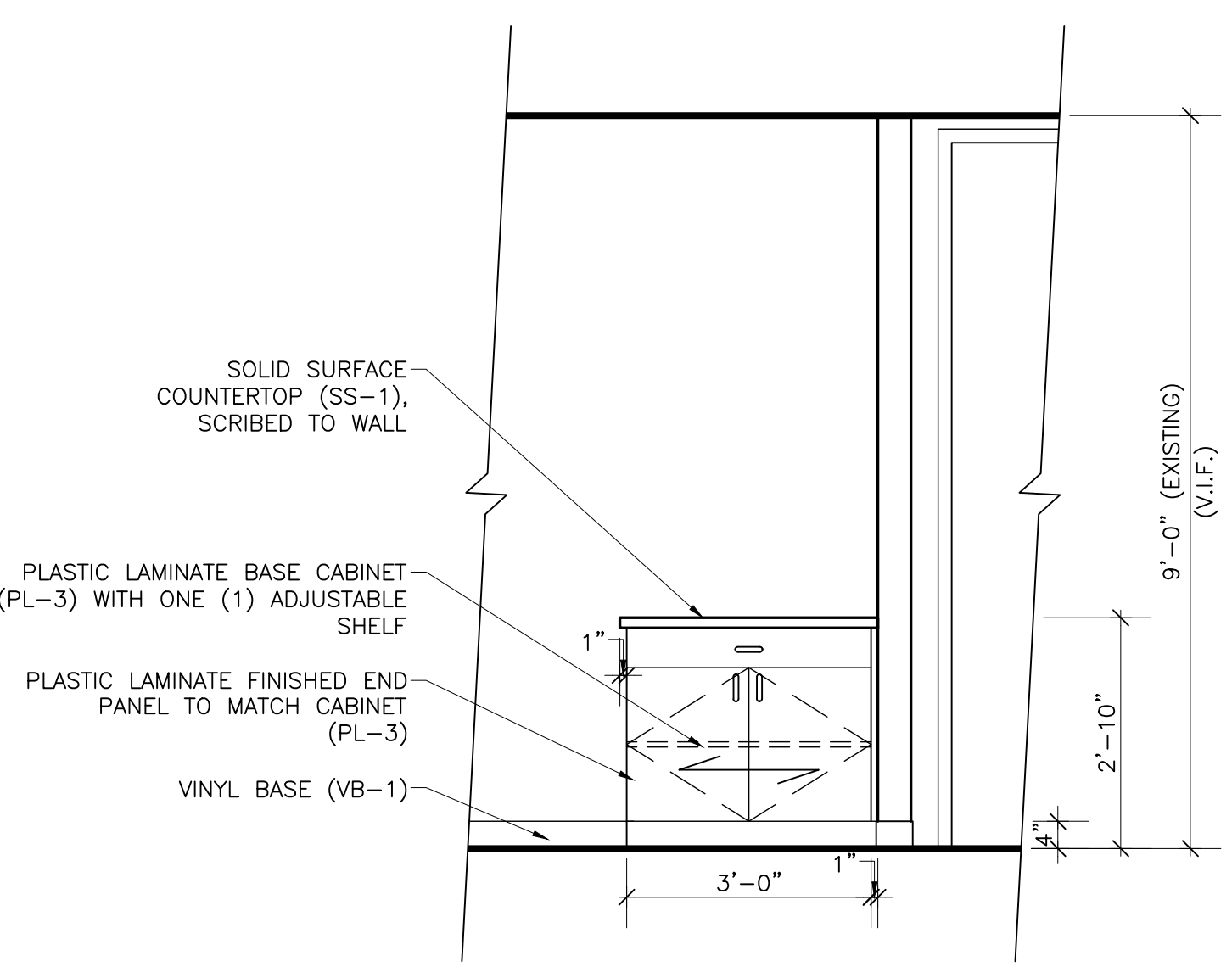
C ELEVATION - MILLWORK - RECEPTION #320  
SCALE: 1/2" = 1'-0"



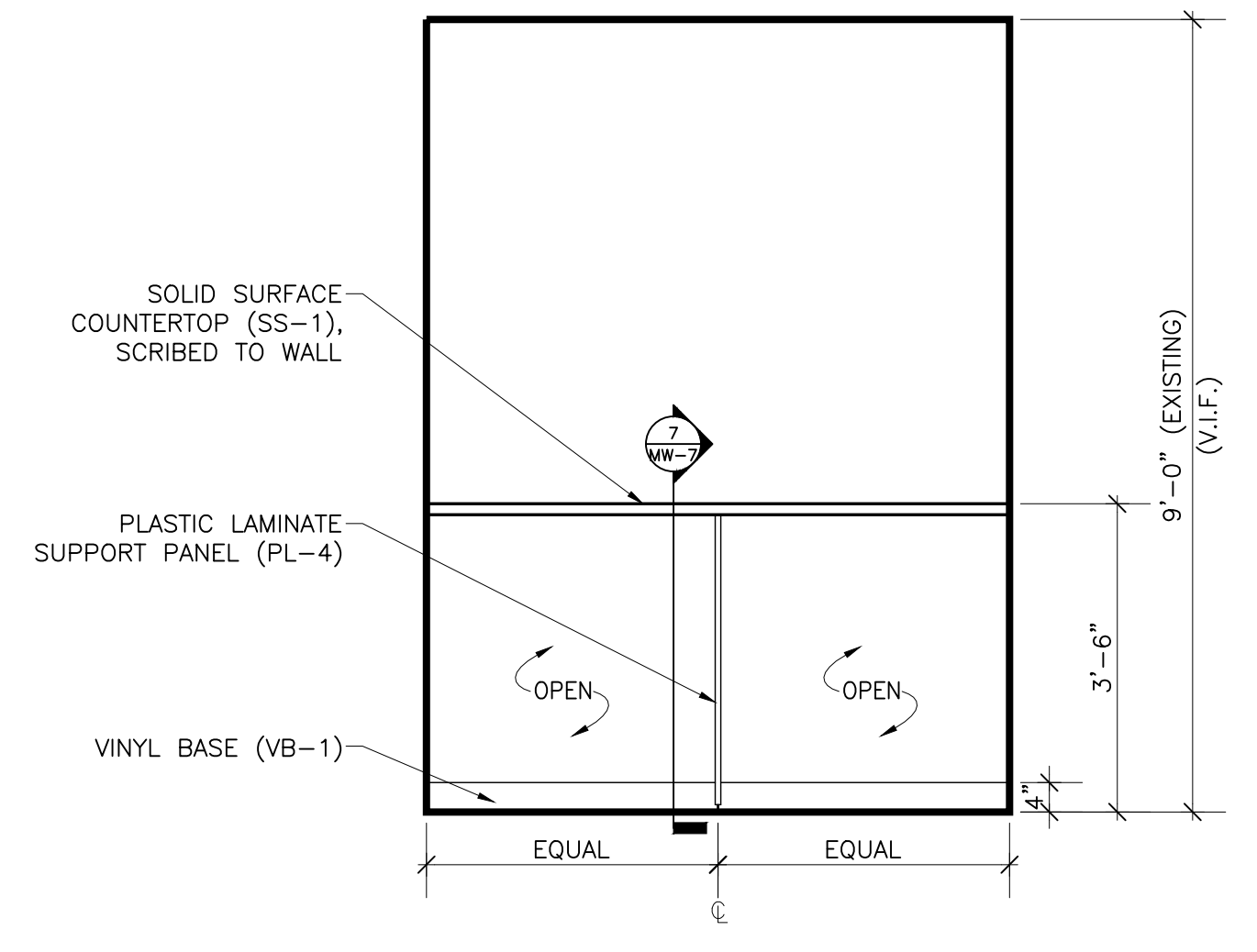
D ELEVATION - MILLWORK - RECEPTION #320  
SCALE: 1/2" = 1'-0"



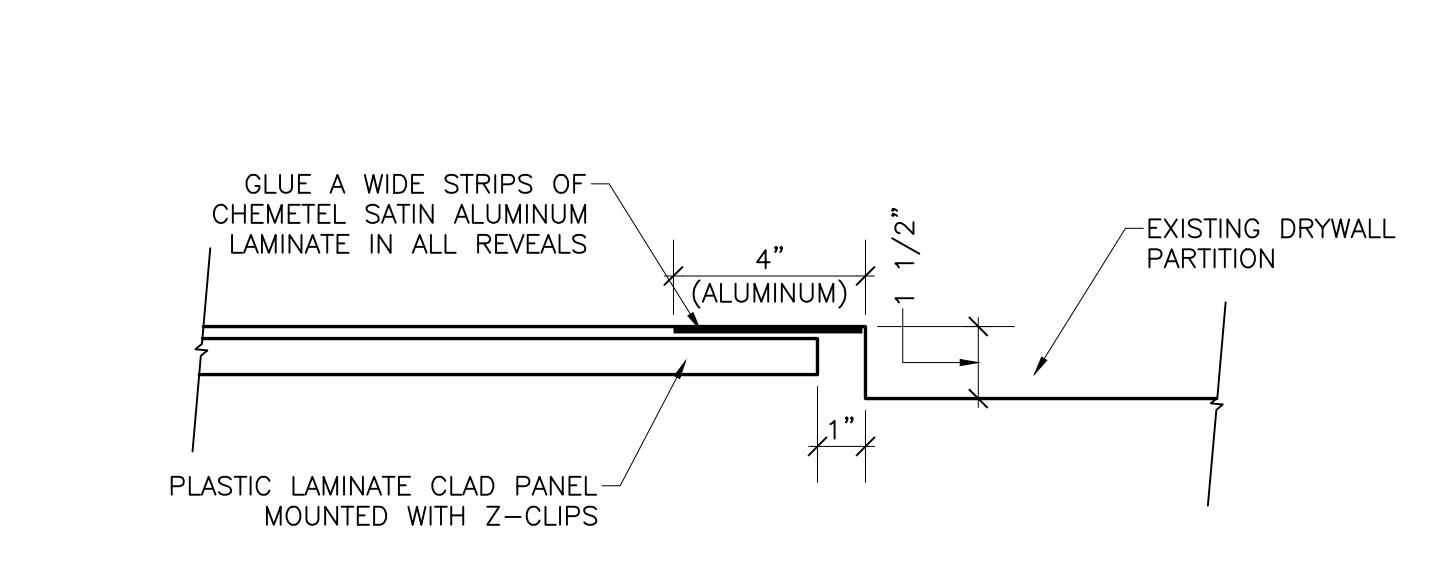
E ELEVATION - MILLWORK - RECEPTION #320  
SCALE: 1/2" = 1'-0"



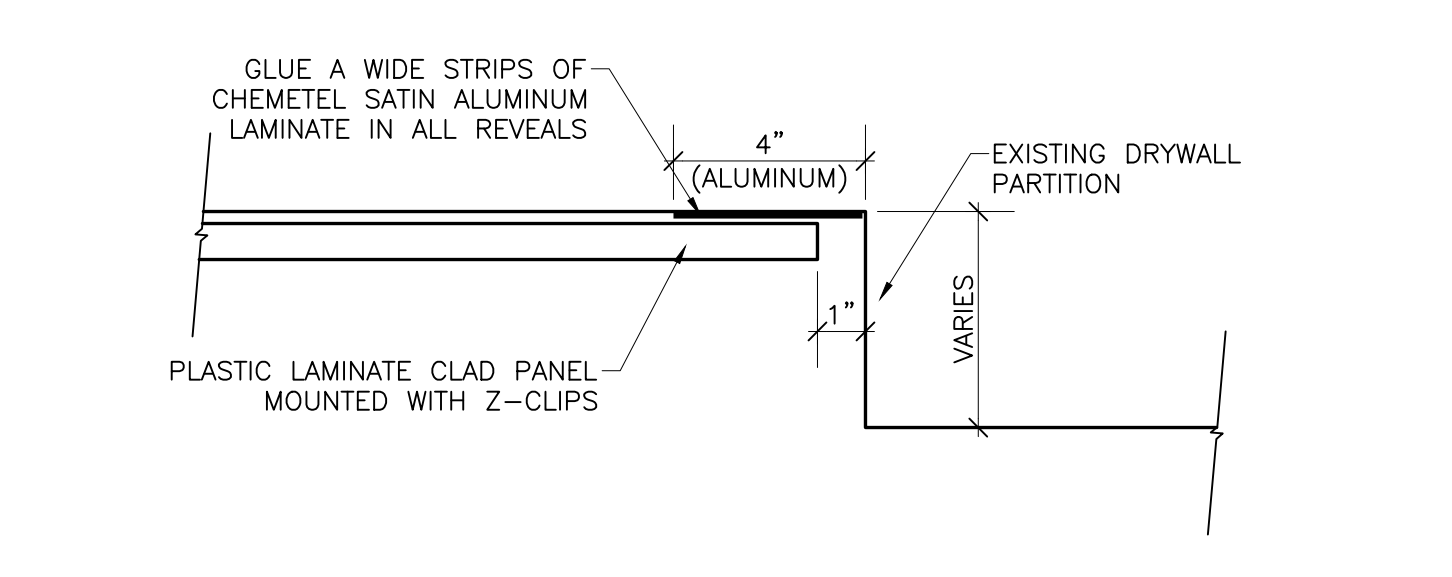
F ELEVATION - MILLWORK - WAITING ROOM #301  
SCALE: 1/2" = 1'-0"



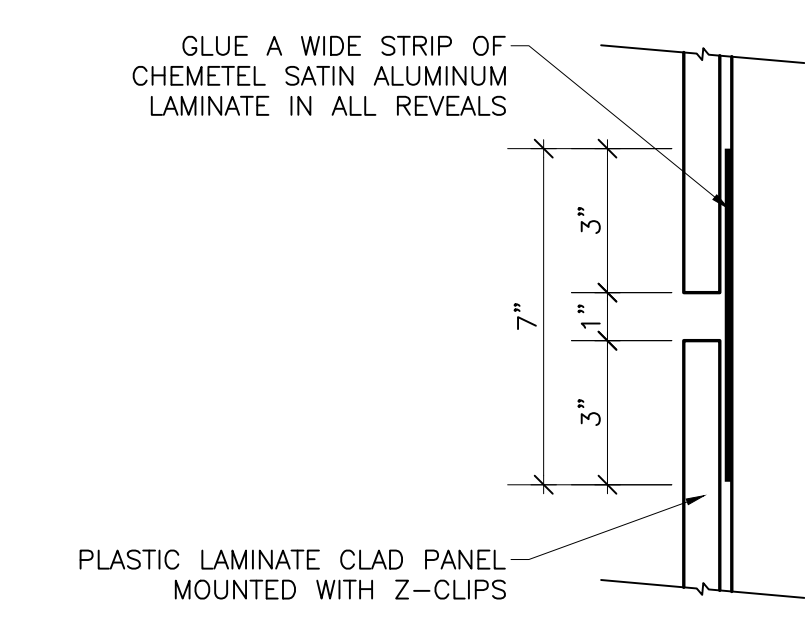
G ELEVATION - MILLWORK - WAITING ROOM #301  
SCALE: 1/2" = 1'-0"



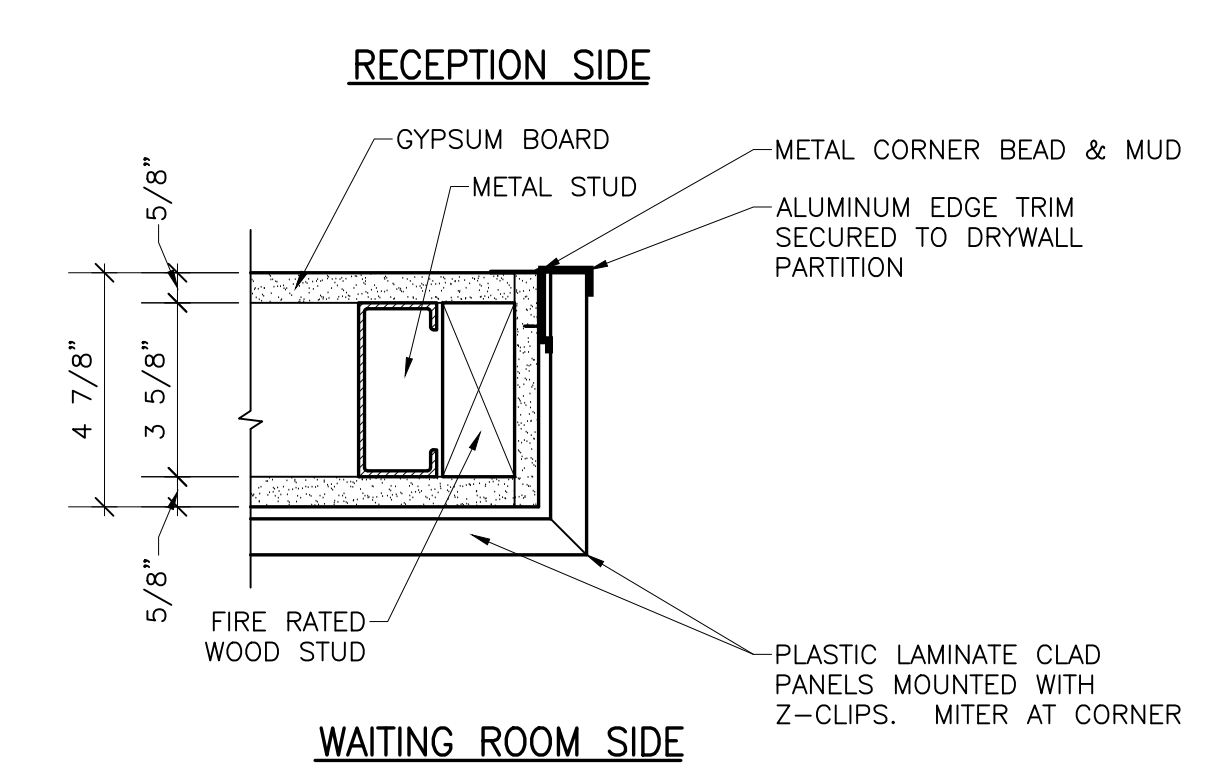
2 DETAIL - PANEL TO DRYWALL PARTITION  
SCALE: 3" = 1'-0"



2.1 DETAIL - PANEL TO DRYWALL CORNER  
SCALE: 3" = 1'-0"



2.2 DETAIL - PANEL TO PANEL  
SCALE: 3" = 1'-0"



2.3 DETAIL - PANEL WRAP TO DRYWALL  
SCALE: 3" = 1'-0"

TENANT:

**DR. GIRGIS  
(REMODEL & EXPANSION)**  
ELM PLAZA  
908 NORTH ELM STREET  
SUITE #306  
HINSDALE, ILLINOIS 60521

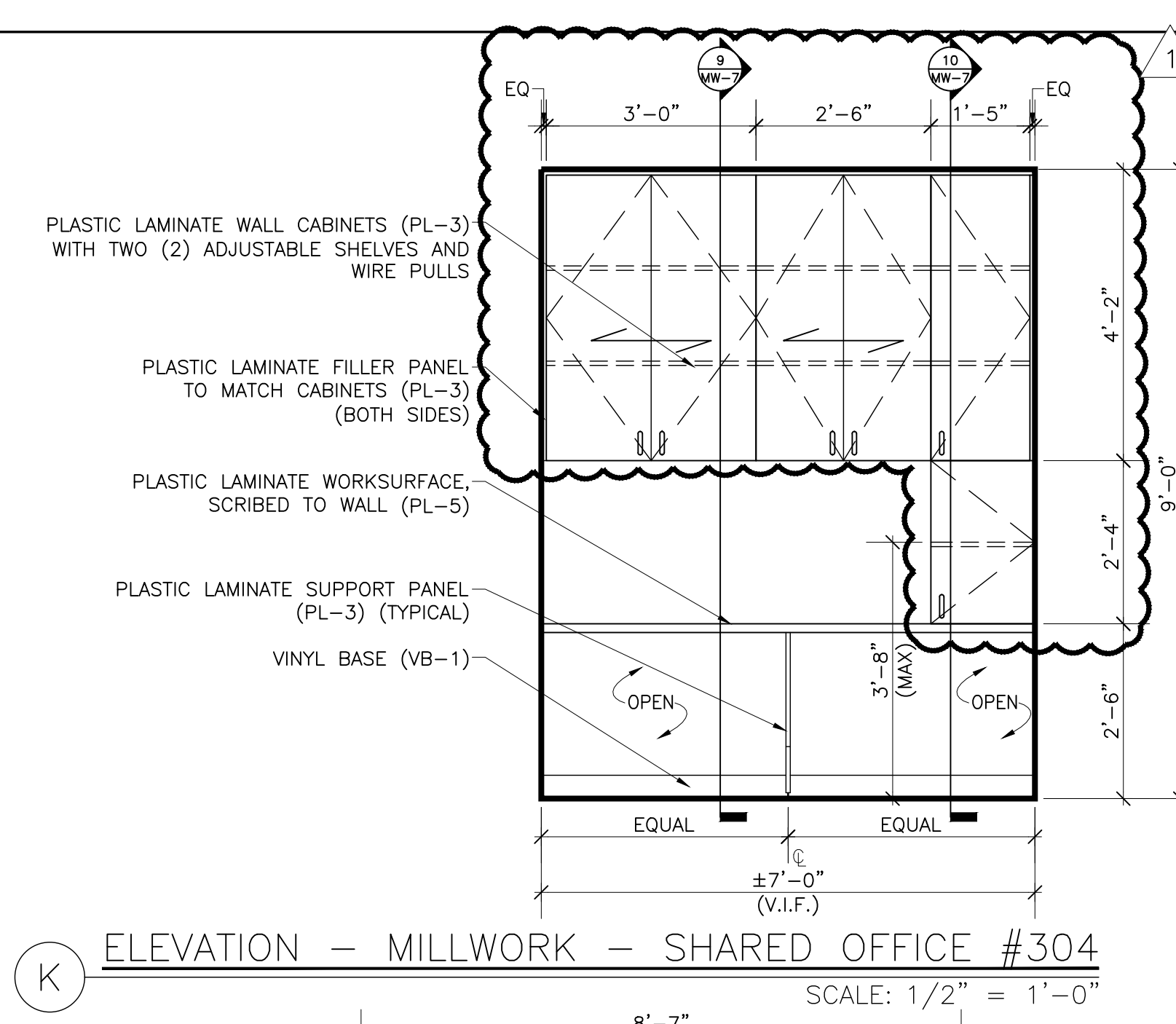
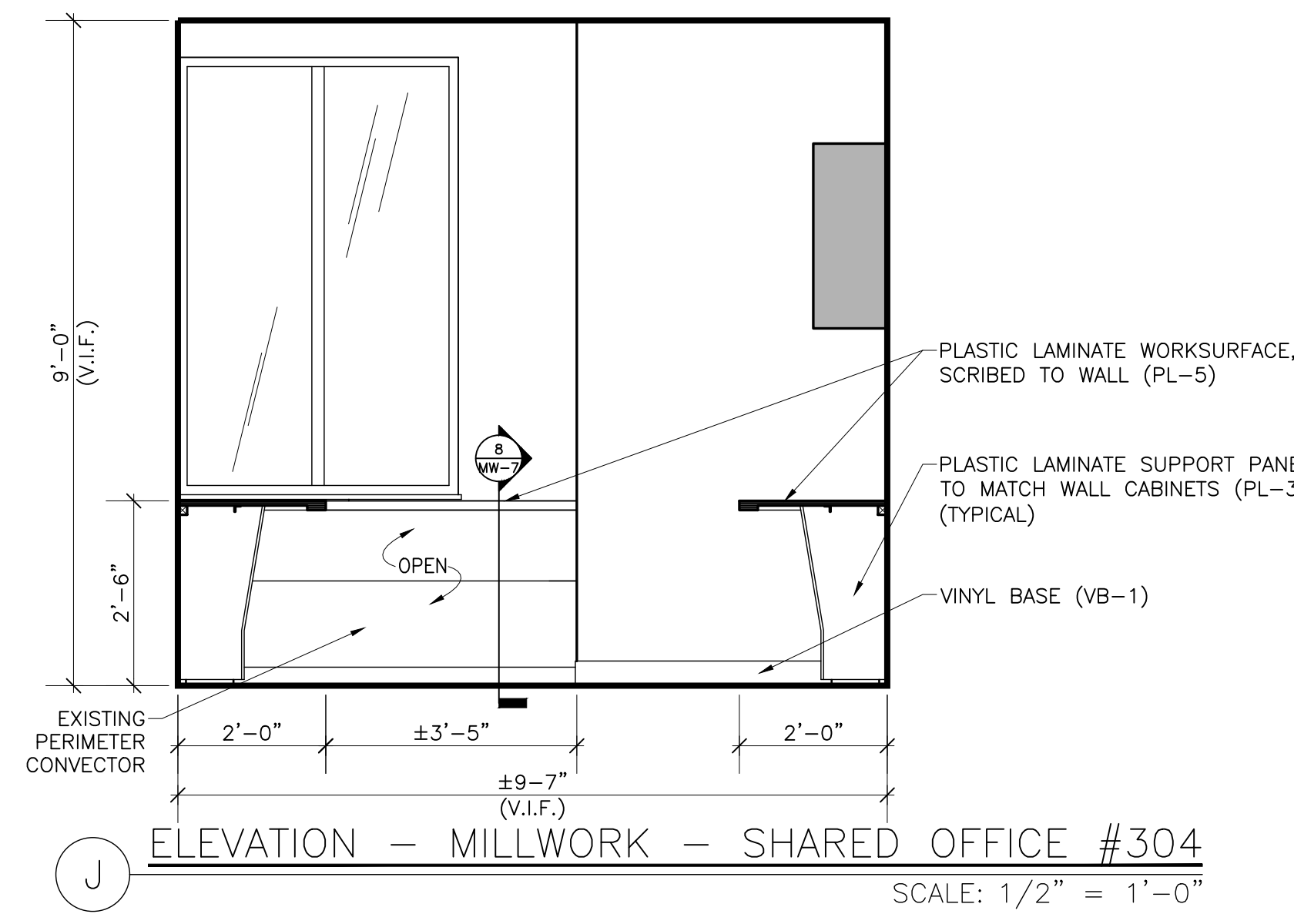
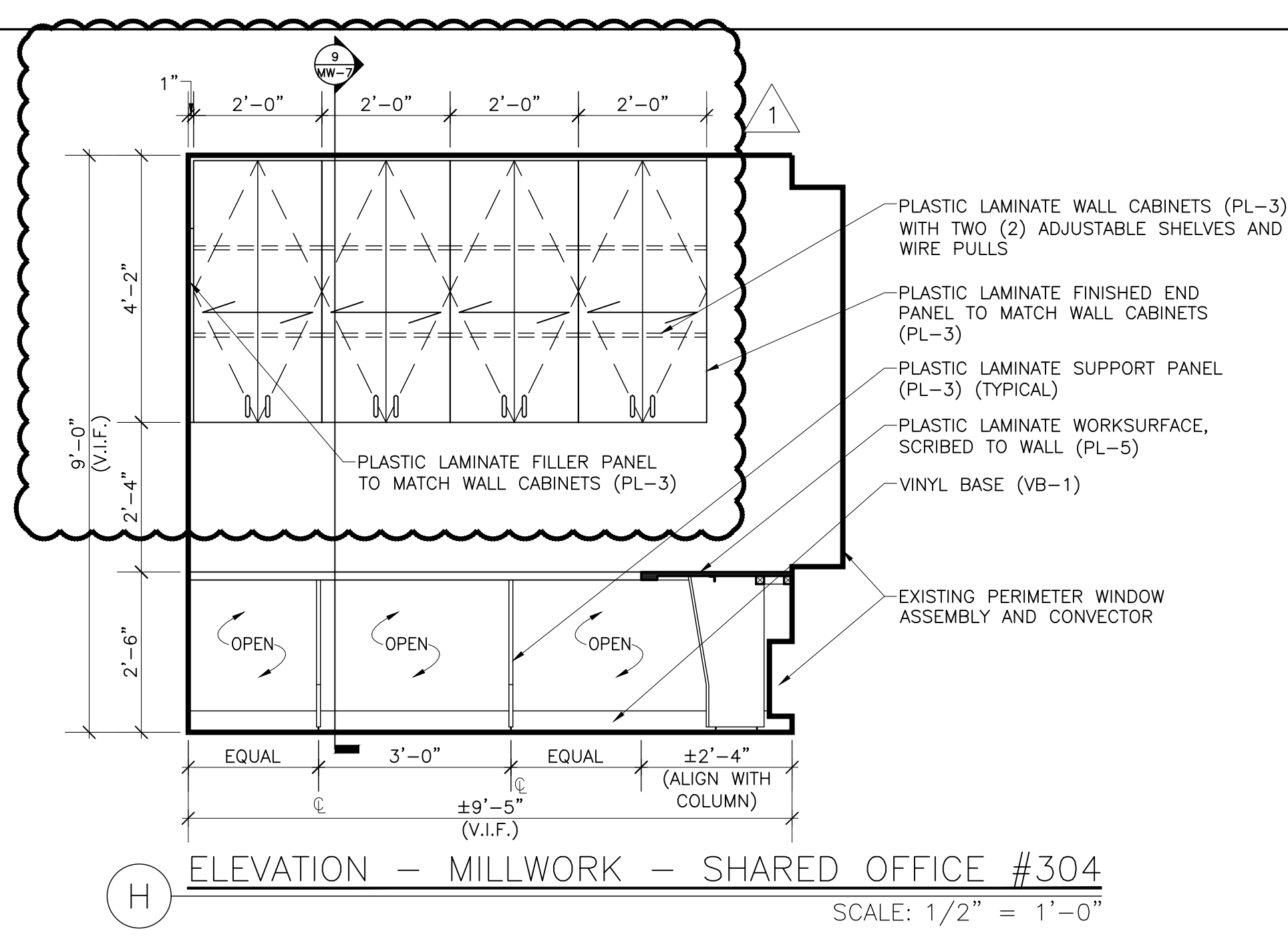
EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689

PROJ. NO. 20761-16 R.S.F.  
SUBMITTED: DATE:

REVISOR FOR BID: 08/04/18  
FOR PERMIT: 07/20/18  
FOR BID: 07/20/18  
FOR APPROVAL: 07/20/18  
DRAWN: 06/01/18  
SHEET TITLE:

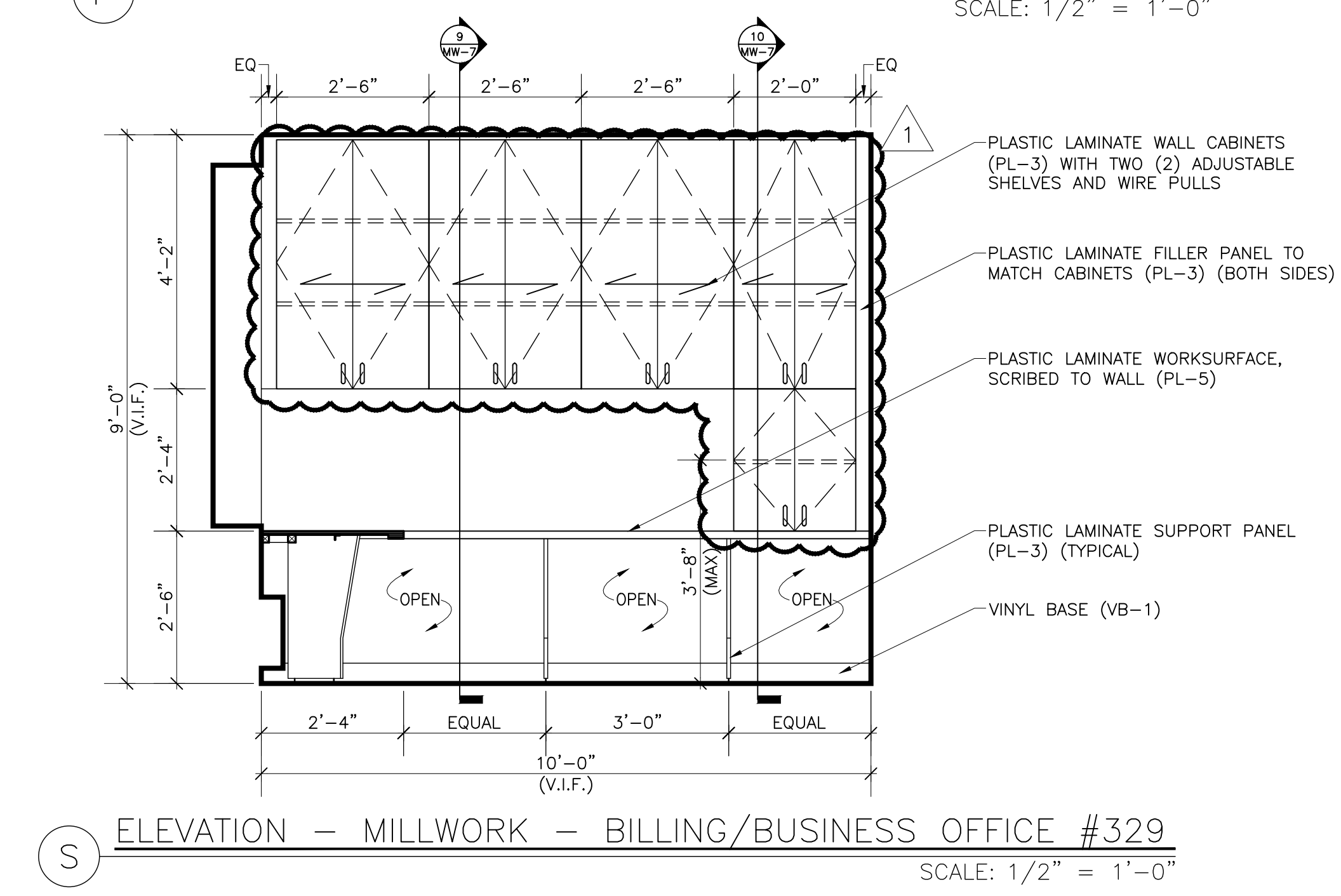
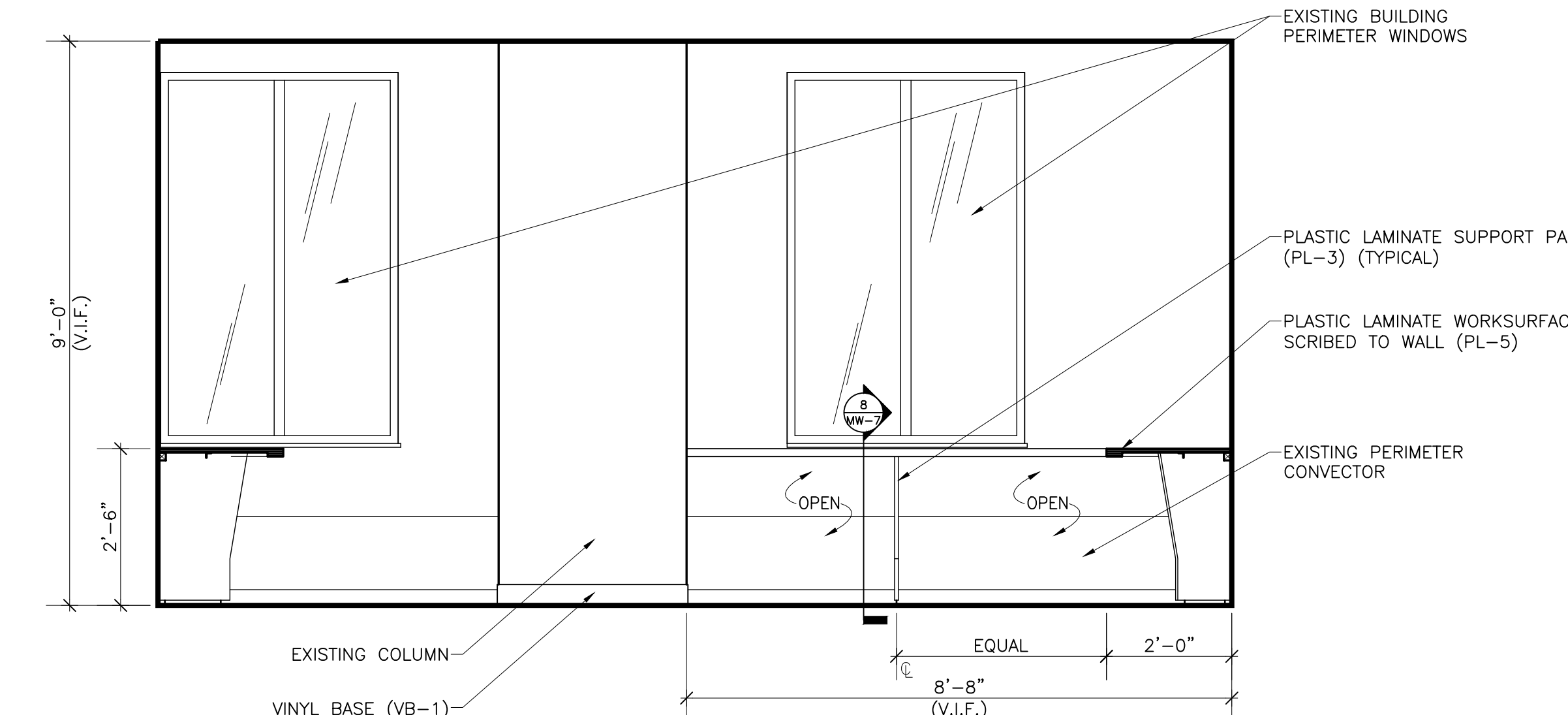
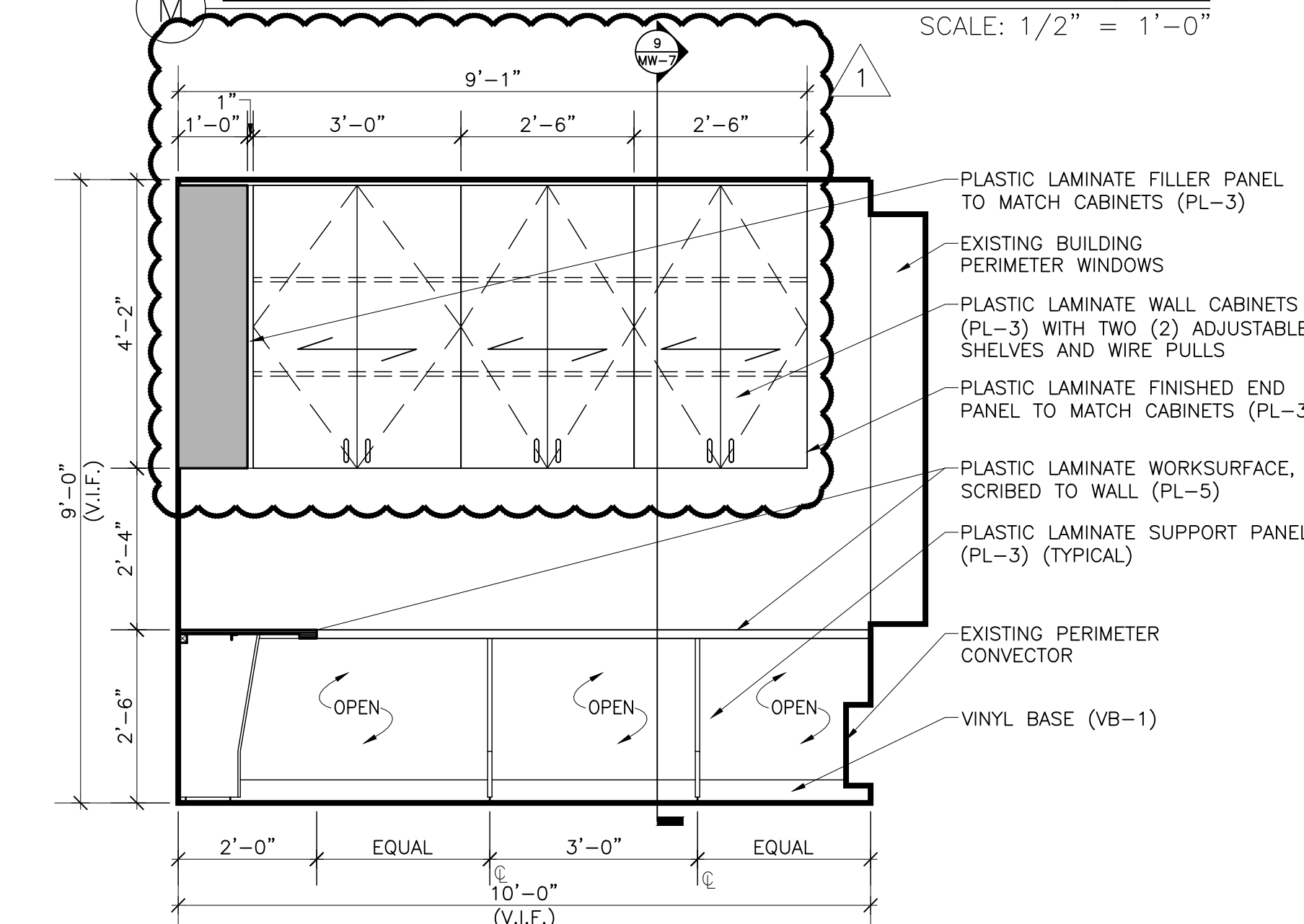
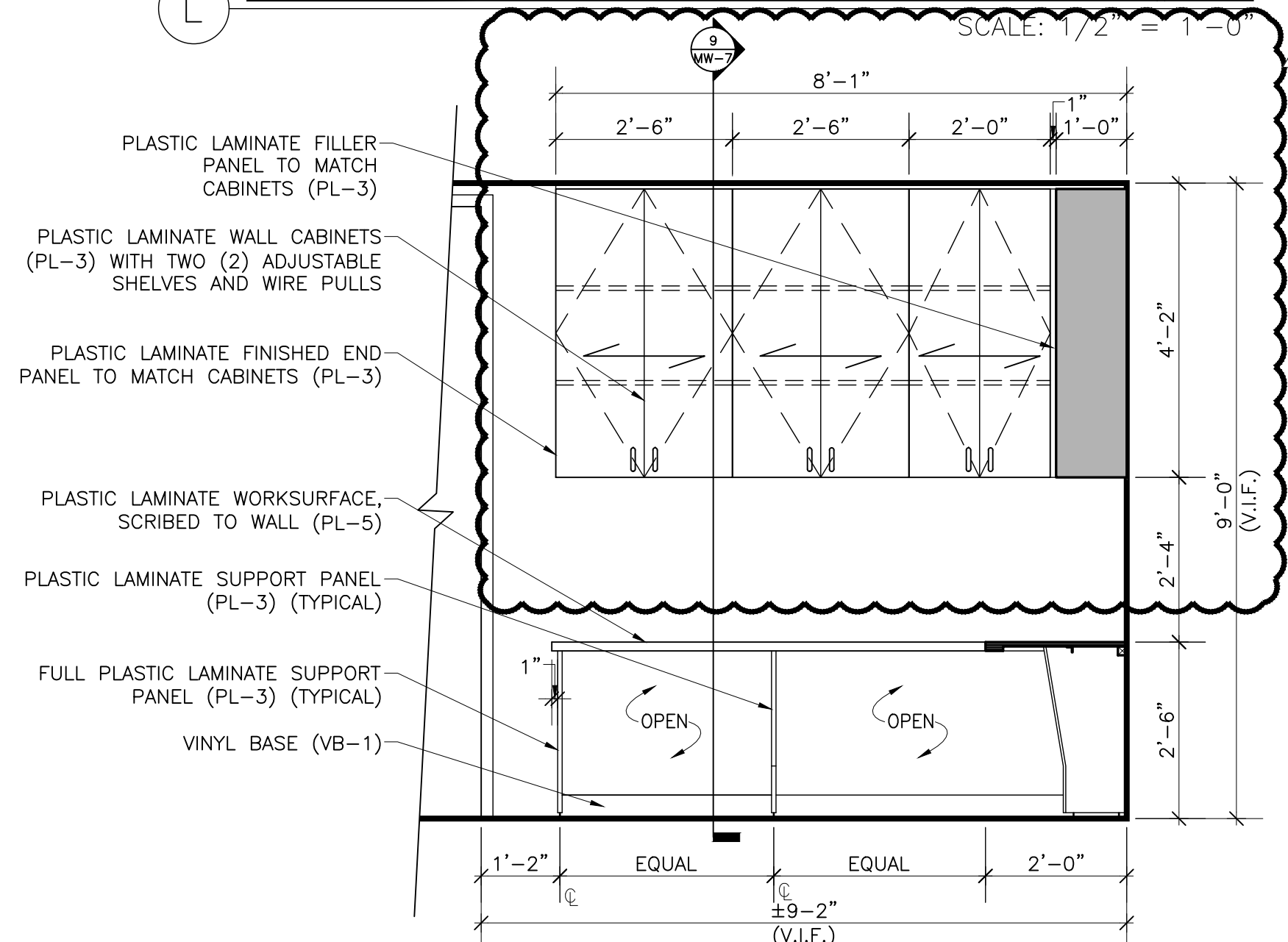
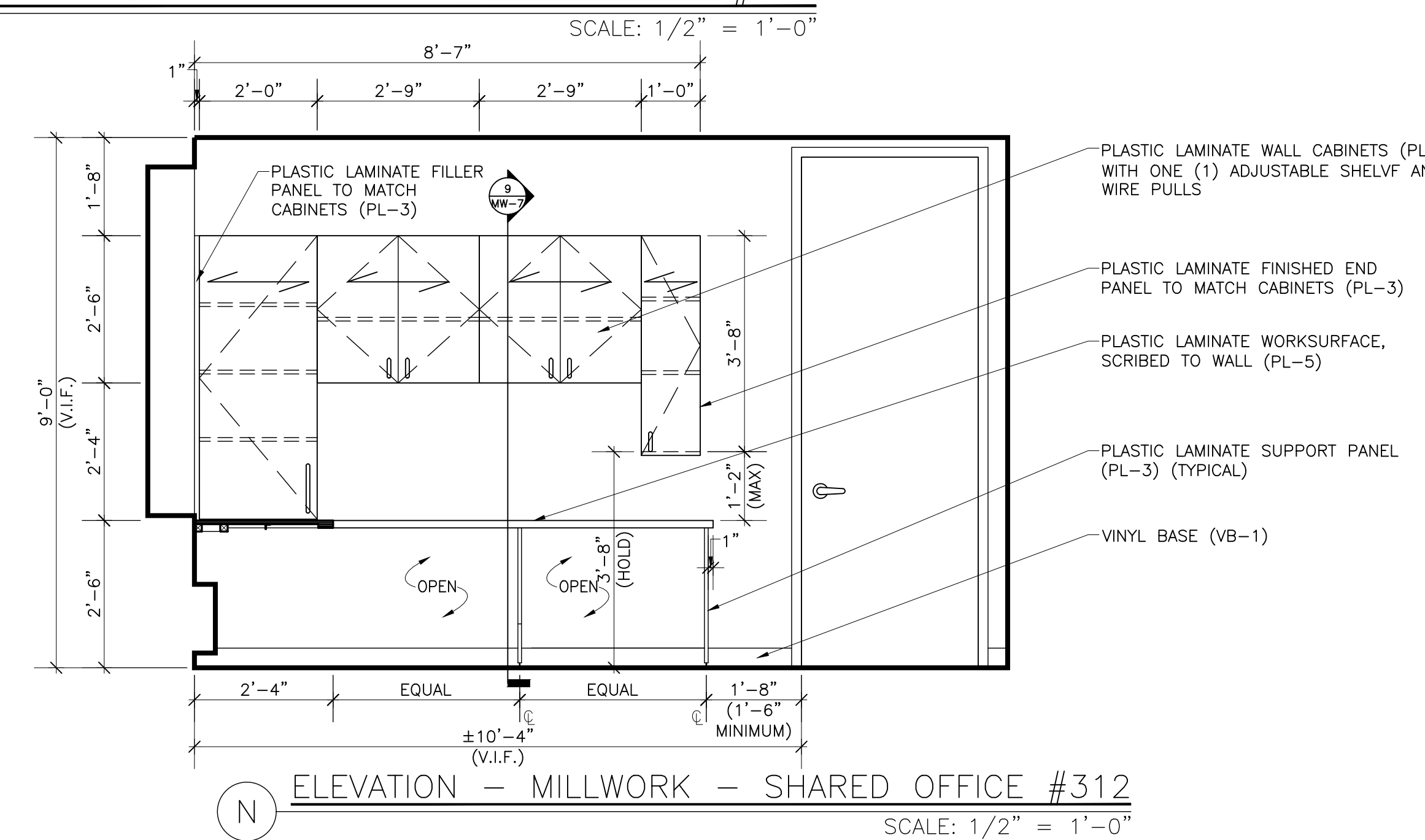
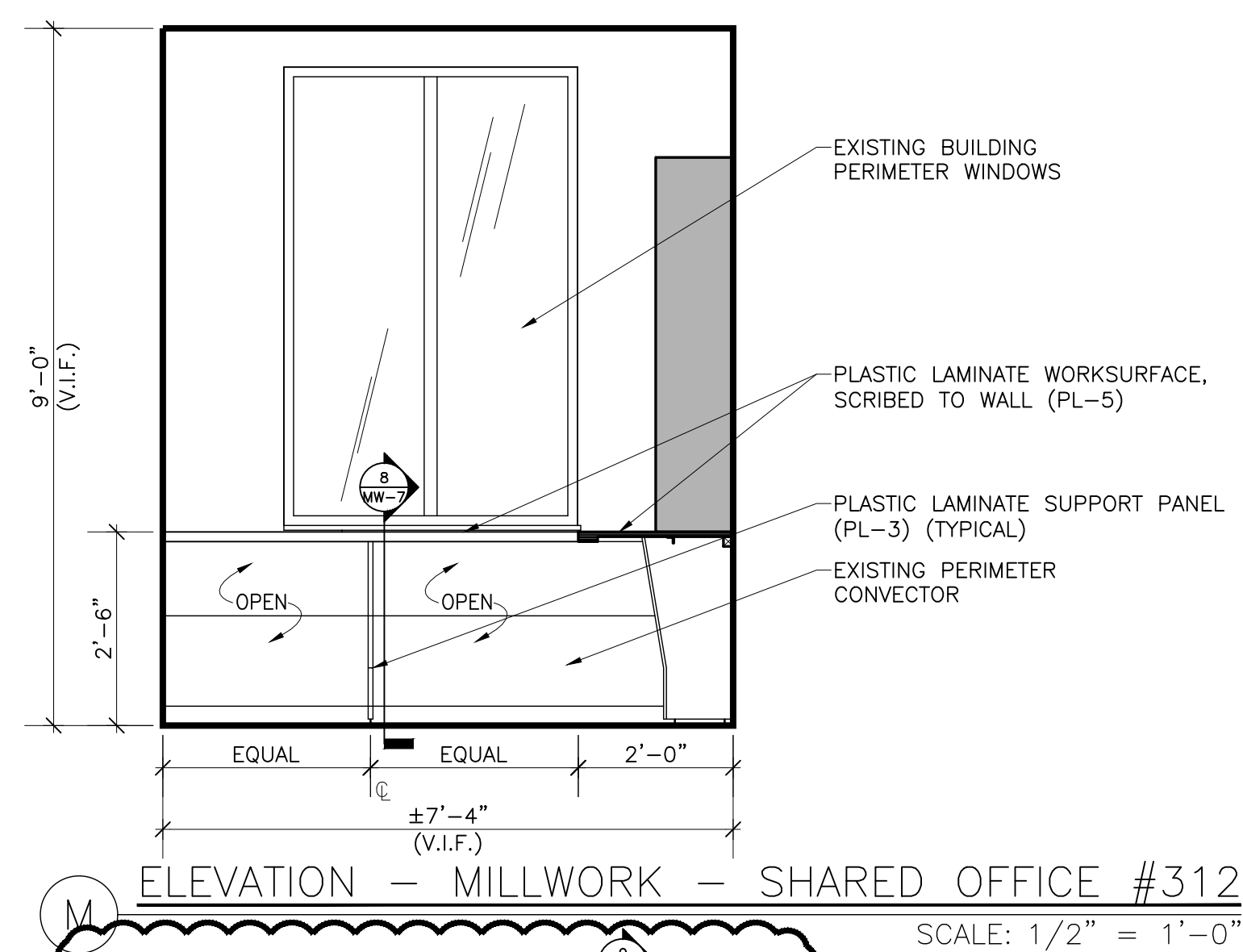
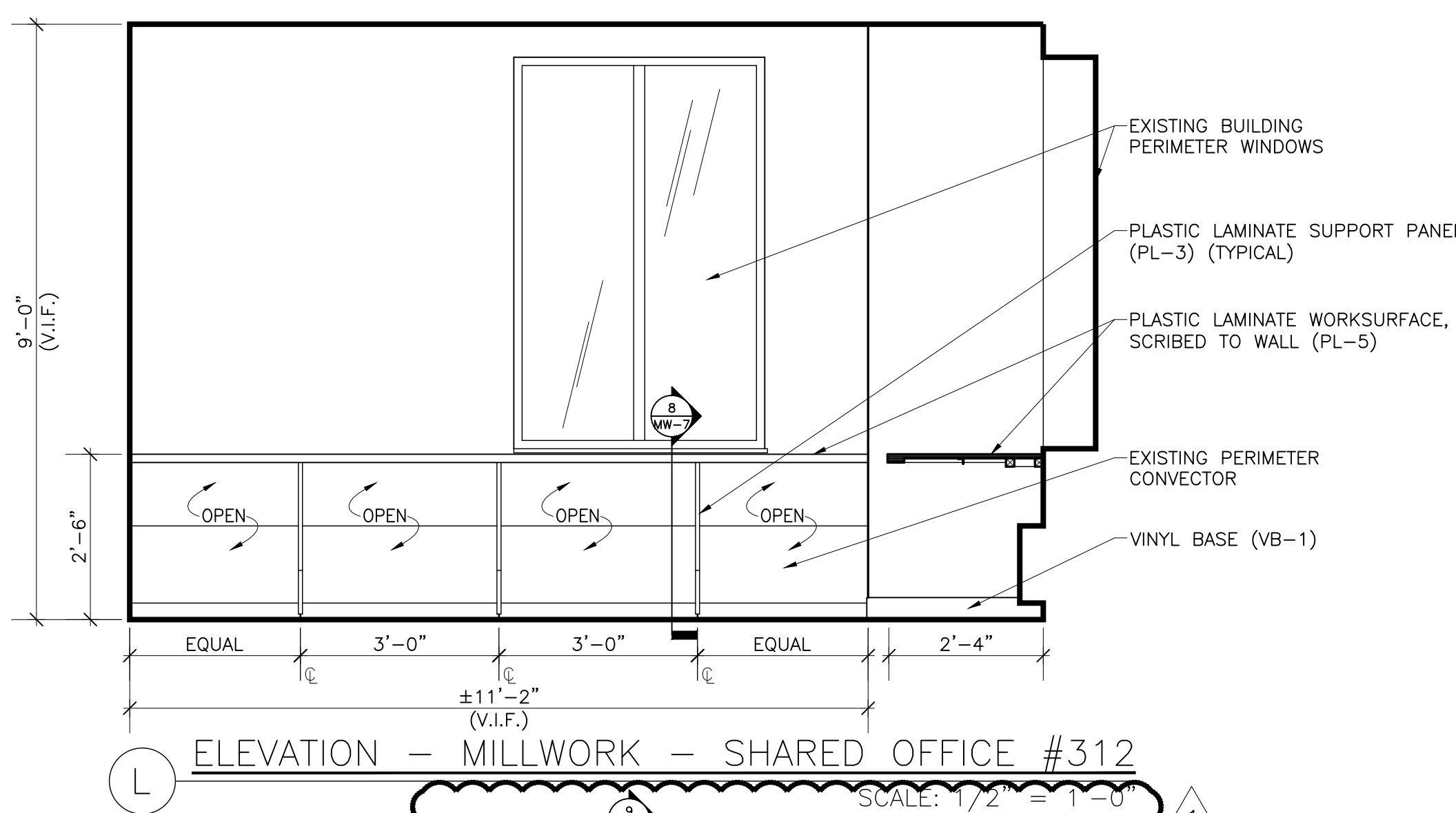
RECEPTION #320, WAITING ROOM #301 -  
ENLARGED PLAN VIEW, ELEVATIONS,  
DETAILS

SHEET NO.:  
MW-2



**NOTE:**  
ALL CABINET INTERIORS ARE TO BE WHITE MELAMINE.

**NOTE:**  
SEE ELEVATIONS FOR FINISH LOCATIONS.



**THE INTERIOR DESIGN GROUP LTD.**  
750 WARRENVILLE ROAD | SUITE 103  
LISLE, ILLINOIS 60532  
PHONE 630 | 348 | 0400  
FAX 630 | 348 | 0388  
www.idg1td.com

**PROJECT DESIGN TEAM:**  
ARCHITECT: LARRY DOHRER  
DESIGNER: DIANE HANSA  
REVIEWER: TIMOTHY R. LIES  
DRAWN BY: LAUREL A. LANG  
REVISED BY:

**MANAGEMENT:**  
**CBRE**  
ELM PLAZA  
908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521

**TENANT:**

**DR. GIRGIS**  
**(REMODEL & EXPANSION)**  
ELM PLAZA  
908 NORTH ELM STREET  
SUITE #306  
HINSDALE, ILLINOIS 60521

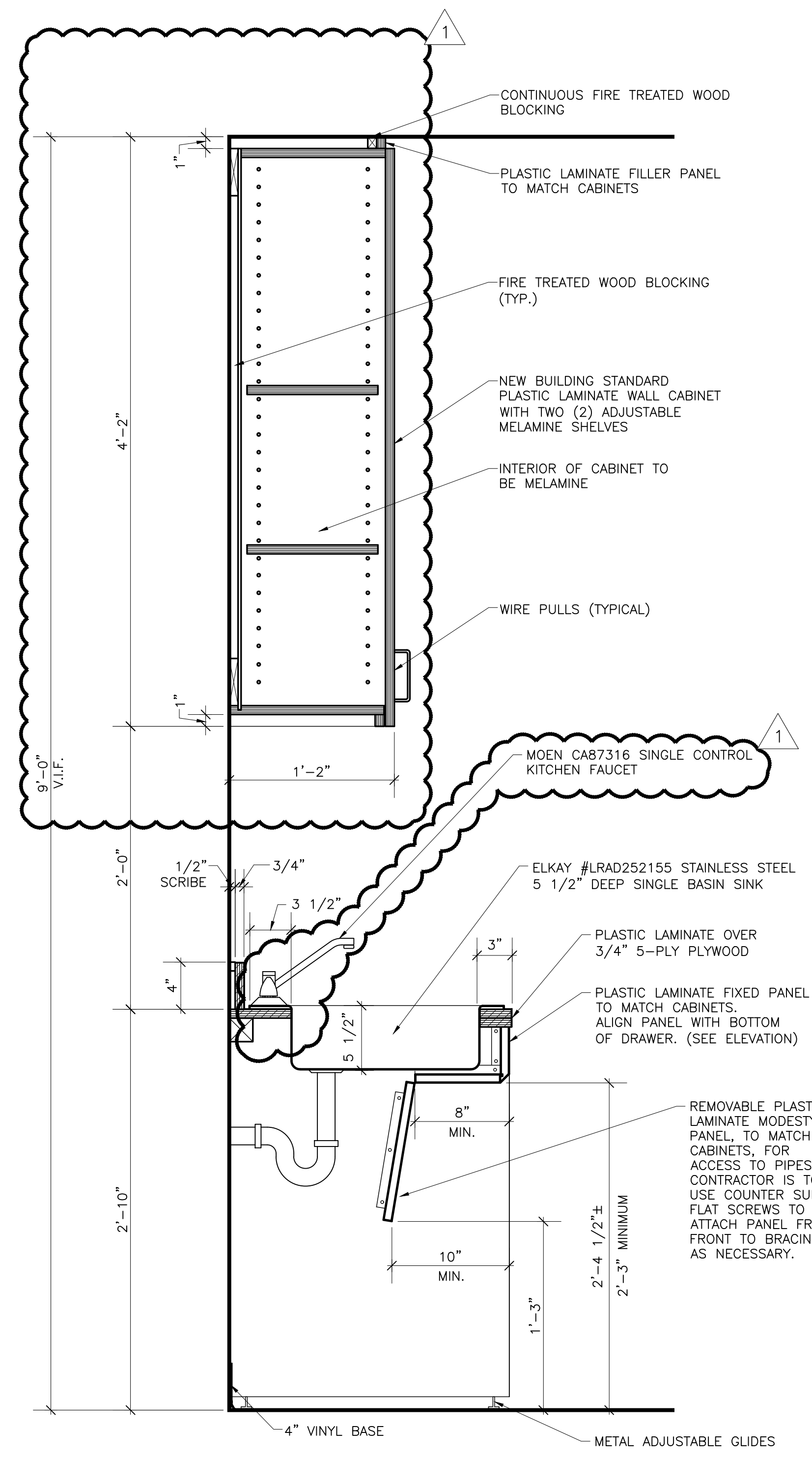
EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689  
PROJ. NO. 20761-16 R.S.F.  
SUBMITTED: DATE:

△ REVISED FOR BID: 08 | 04 | 18  
FOR PERMIT: 07 | 20 | 18  
FOR BID: 07 | 20 | 18  
FOR APPROVAL: 07 | 20 | 18  
DRAWN: 06 | 01 | 18

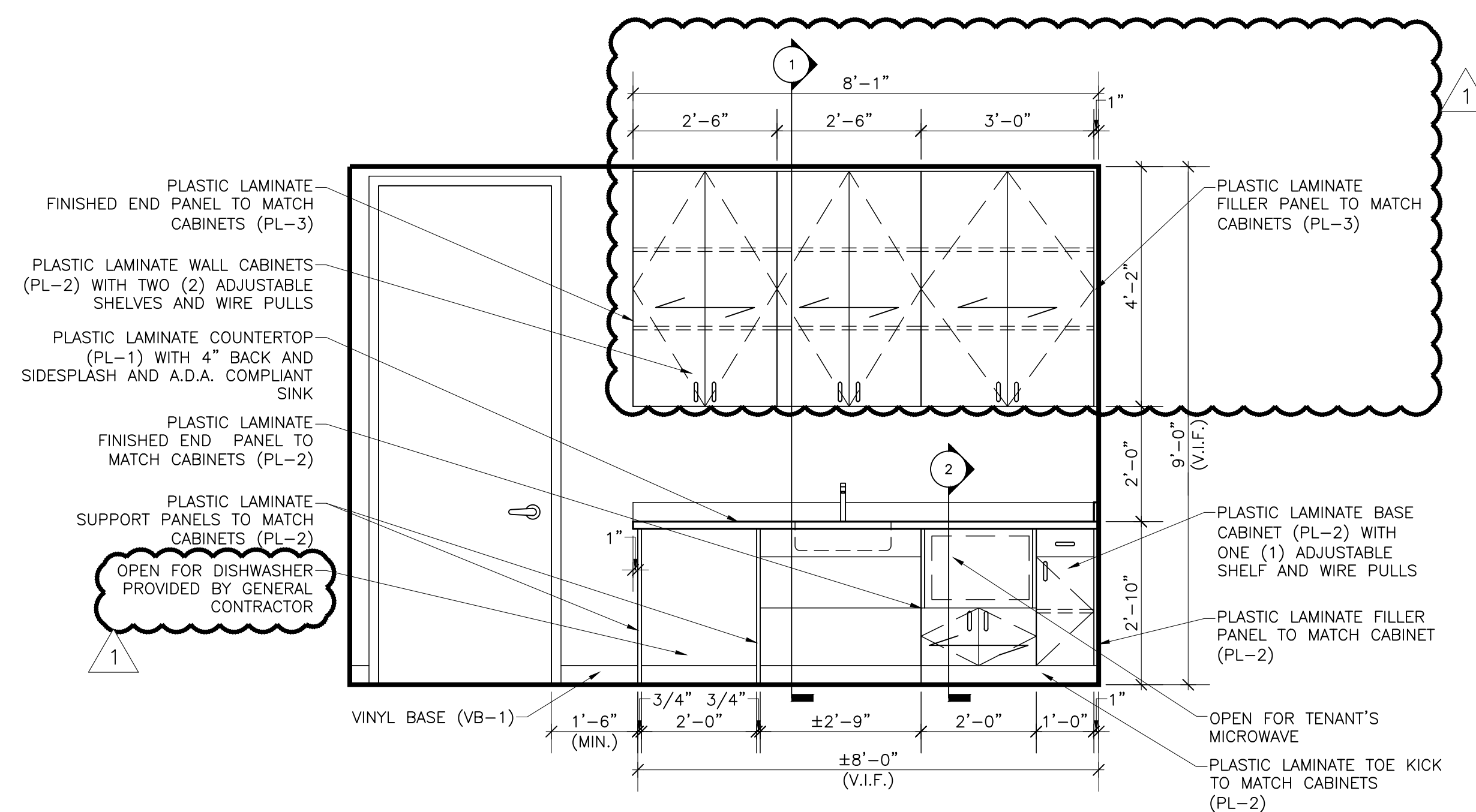
SHEET TITLE:  
**SHARED OFFICE #312,  
BILLING/BUSINESS OFFICE #329 -  
ELEVATIONS**

SHEET NO.:  
**MW-3**

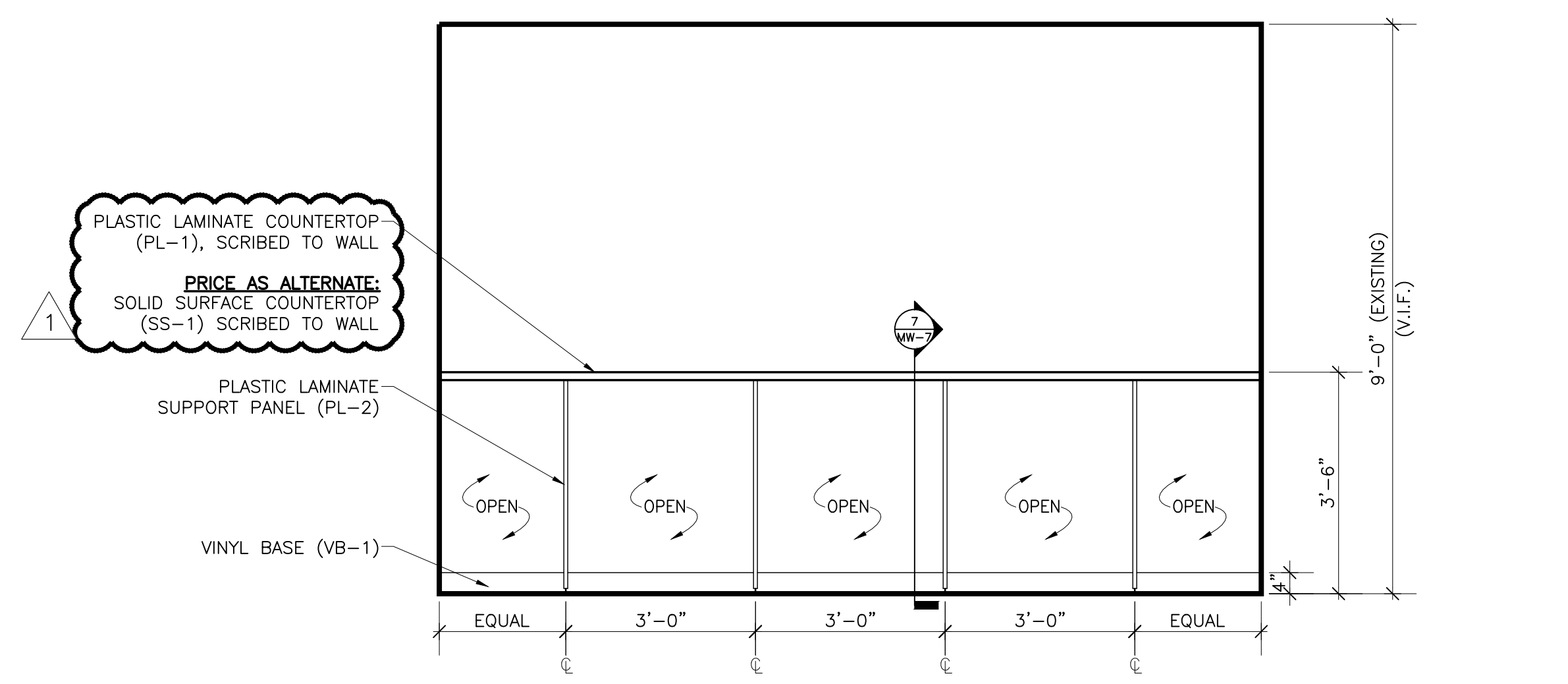




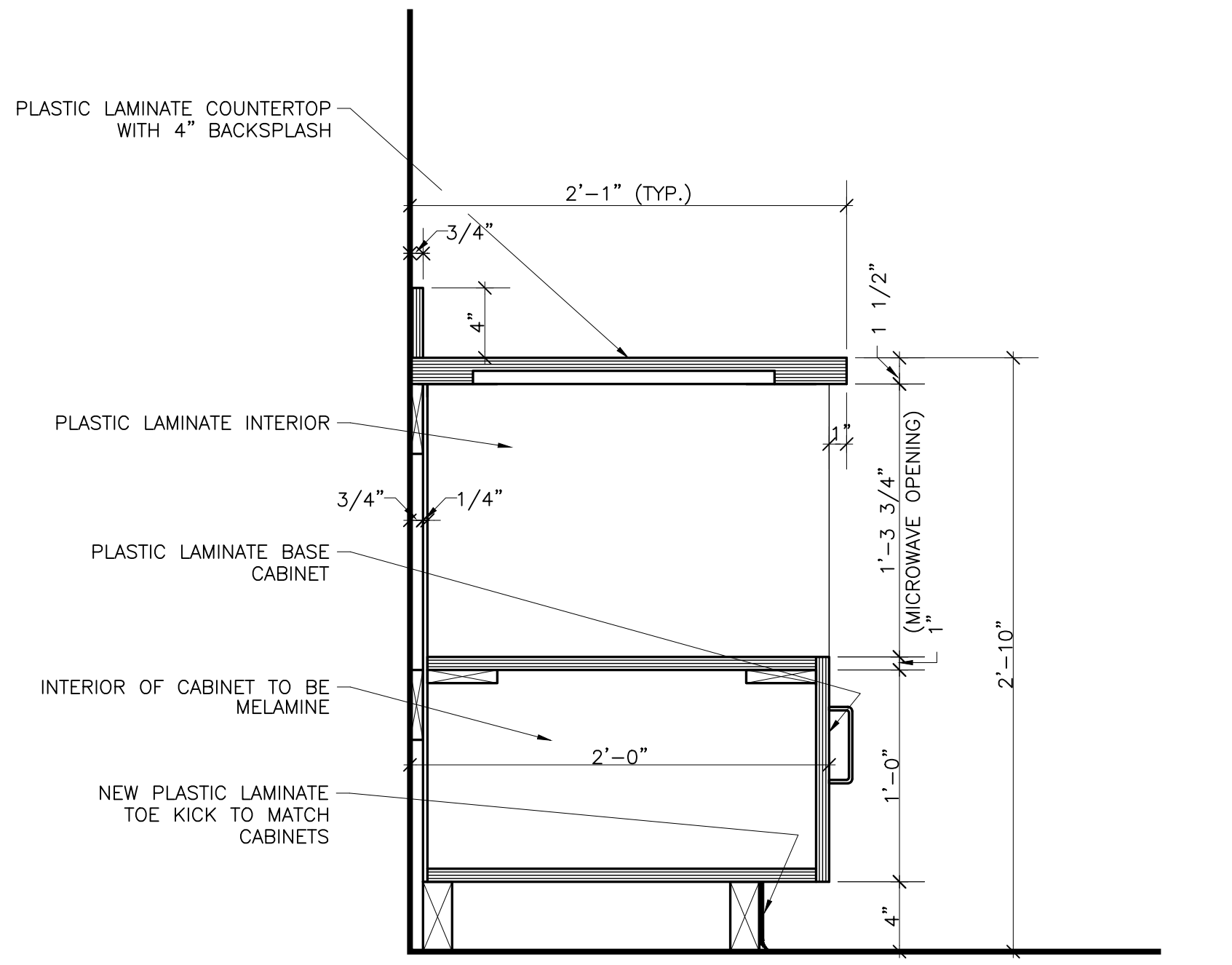
1 SECTION: SINK SCALE: 1 1/2" = 1'-0"



T ELEVATION - MILLWORK - BREAK ROOM #325 SCALE: 1/2" = 1'-0"



U ELEVATION - MILLWORK - STAFF MEETING ROOM #338 SCALE: 1/2" = 1'-0"



2 SECTION - CABINET/MICROWAVE SCALE: 1 1/2" = 1'-0"

SINGLE BOWL TOP MOUNT A.D.A. COMPLIANT SINK

**ELKAY** Elkay Lustertone Classic Stainless Steel 25" x 21-1/4" x 5-1/2" Single Bowl Top Mount ADA Sink Model(s) LRAD252155

**PRODUCT SPECIFICATIONS**  
 Elkay Lustertone™ Classic Stainless Steel 25" x 21-1/4" x 5-1/2", Single Bowl Top Mount ADA Sink. Sink is manufactured from 18 gauge 304 Stainless Steel with a Lustertone finish, Rear Center drain placement, and Bottom only pads.

Installation Type:	Top Mount
Material:	304 Stainless Steel
Finish:	Lustertone
Gauge:	18
Sound Dampening:	Bottom only pads
Number of Bowls:	1
Sink Dimensions:	25" x 21-1/4" x 5-1/2"
Bowl Dimensions:	21" x 15-3/4" x 5-3/8"
Drain Size:	3/2" (89mm)
Drain Location:	Rear Center
Minimum Cabinet Size:	30"
Mounting Hardware:	Part # 6409012 included for countertops up to 3/4" (19mm) thick

**Installation Profile:** Shows the sink being mounted to a countertop with a U-channel and screws. Labels include 'Silicone Caulk', 'U-Channel', 'Sink', 'Countertop', and 'Screw'.

**Part, Project, Contact, Date, Notes, Approval** form.

A.D.A. COMPLIANT FAUCET

**MOEN** Buy it for looks. Buy it for life.®

**Specifications**

**FAUCET DESCRIPTION**

- A flexible hose system that offers secure docking, smooth operation, and easy movement
- Metal construction with various finishes identified by suffix
- DuraLock™ quick connect installation
- Pullout spray with 68" braided hose
- Flexible supplies with 3/8" compression fittings

**OPERATION**

- Level style handle
- Temperature controlled by 120° arc of handle travel
- Spout rotation is 120°
- Operates with less than 5lbs. of force
- Operates in stream or spray mode in the pullout or retracted position

**FLOW**  
 Aerator is limited to 1.5 gpm (5.7 L/min) max.

**CARBTRIDE**  
 • 125° cartridge design  
 • Engineered polymer, nonferrous and stainless steel materials

**STANDARDS**

- Contains no more than 0.25% weighted average lead content
- Complies with California Proposition 65 and with the Federal Safe Drinking Water Act
- Third party certified to IAPMO Green ASME A112.18.1/CSA B-125.1 and all applicable requirements referenced therein including NSF 61/9
- Meets California and Georgia SB370 requirements

**ADA** for lever handle

The backflow protection system in this device consists of two independently operating check valves, a primary and a secondary which prevent backflow

**WARRANTY**

- Lifetime limited warranty against leaks, drips and finish defects to the original consumer purchaser
- 5 year warranty if used in commercial installations

**Models:** CAB7316 series

**NOTE: DESIGNED TO INSTALL THRU 1 OR 3 HOLES 1-1/2" (38mm) DIA.**

**CRITICAL DIMENSIONS**

Rev. 10/13 FOR MORE INFORMATION CALL: 1-800-BUY-MOEN www.moen.com



THE INTERIOR DESIGN GROUP LTD.  
 750 WARRENVILLE ROAD | SUITE 103  
 LISLE, ILLINOIS 60532  
 PHONE 630 | 348 | 0400  
 FAX 630 | 348 | 0388  
 www.idglltd.com

**PROJECT DESIGN TEAM:**  
 ARCHITECT: LARRY DOHRER  
 DESIGNER: DIANE HANSA  
 REVIEWER: TIMOTHY R. LIES  
 DRAWN BY: LAUREL A. LANG  
 REVISED BY:

**MANAGEMENT:**  
**CBRE**  
 ELM PLAZA  
 908 NORTH ELM STREET  
 HINSDALE, ILLINOIS 60521

TENANT:

DR. GIRGIS  
 (REMODEL & EXPANSION)  
 ELM PLAZA  
 908 NORTH ELM STREET  
 SUITE #304  
 HINSDALE, ILLINOIS 60521

EXISTING: 4,132  
 EXPANSION: 1,557  
 TOTAL: 5,689

PROJ. NO. 20761-16 R.S.F.  
 SUBMITTED: DATE:

REVISED FOR BID: 06/10/18  
 FOR PERMIT: 07/20/18  
 FOR BID: 07/20/18  
 FOR APPROVAL: 07/20/18  
 DRAWN: 06/10/18

SHEET TITLE:  
 BREAK ROOM #325,  
 STAFF MEETING ROOM #338 -  
 ELEVATIONS, SECTIONS,  
 FIXTURE CUT SHEETS

SHEET NO.: MW-4



THE INTERIOR DESIGN GROUP LTD.  
750 WARRENVILLE ROAD | SUITE 103  
LISLE, ILLINOIS 60332  
PHONE 630 | 348 | 0400  
FAX 630 | 348 | 0388  
www.idgtd.com

PROJECT DESIGN TEAM:

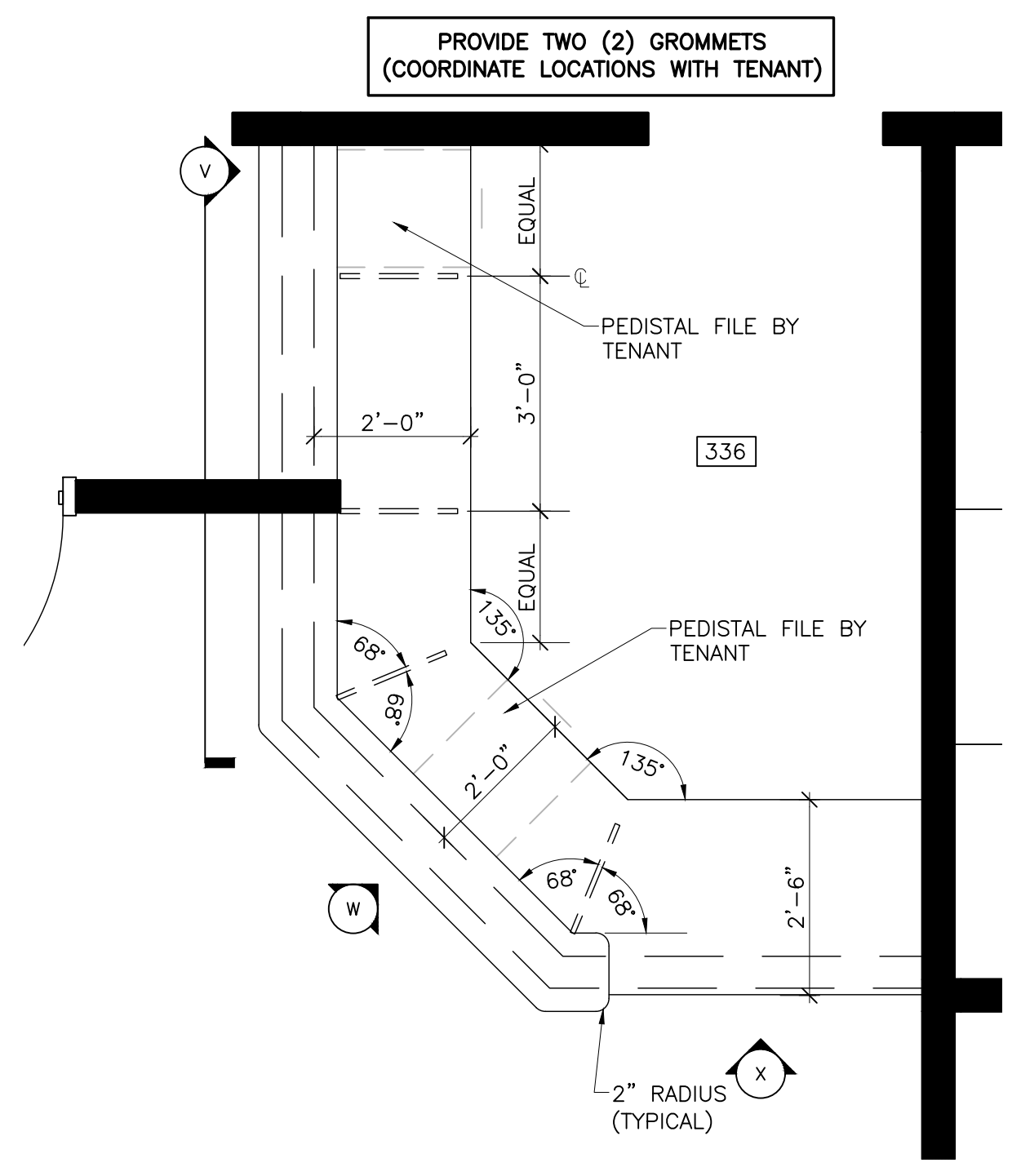
ARCHITECT: LARRY DOHRER  
DESIGNER: DIANE HANSA  
REVIEWER: TIMOTHY R. LIES  
DRAWN BY: LAUREL A. LANG  
REVISED BY:

MANAGEMENT:

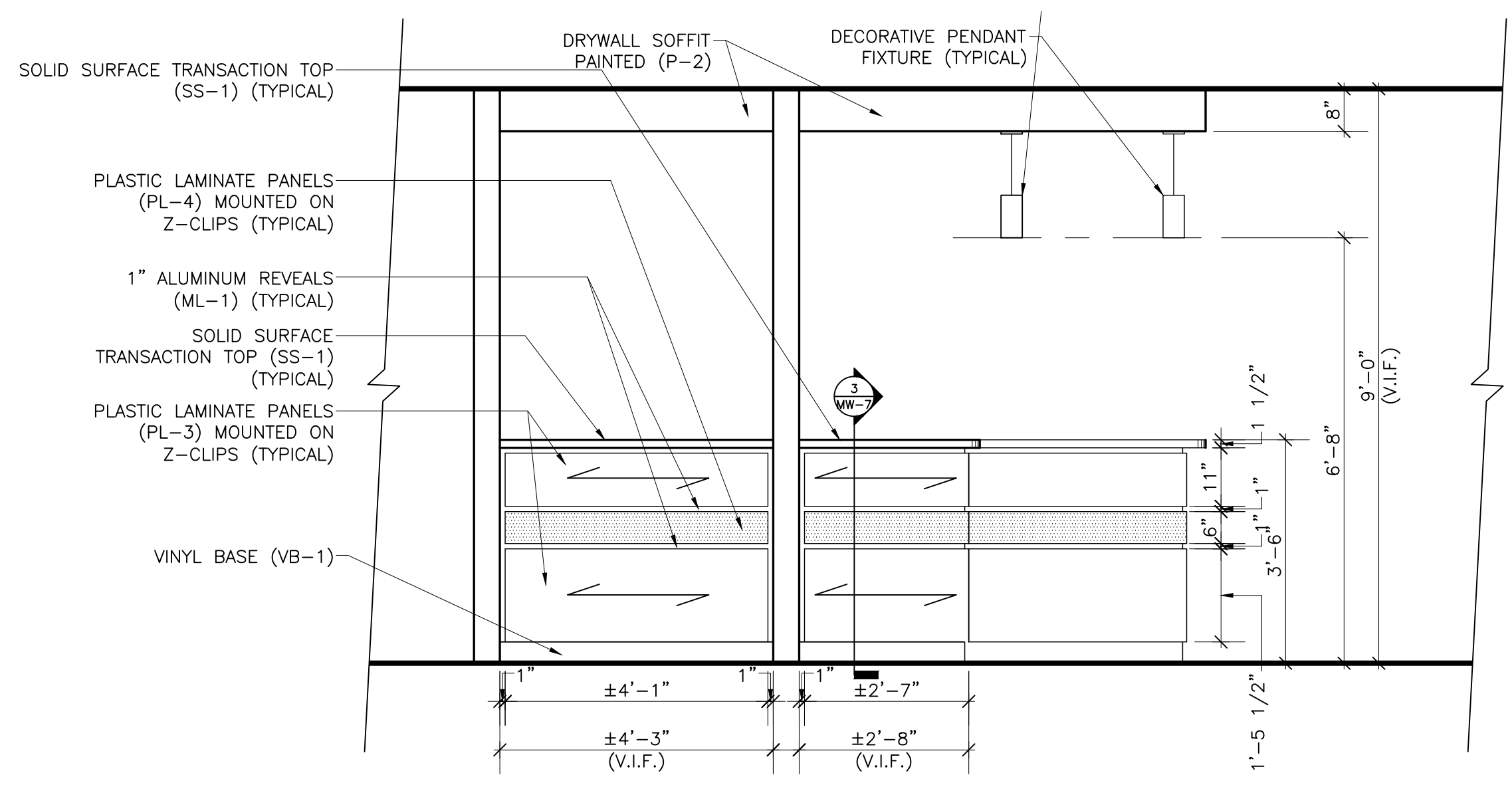
**CBRE**  
ELM PLAZA  
908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521

**NOTE:**  
ALL CABINET INTERIORS ARE TO BE WHITE MELAMINE.

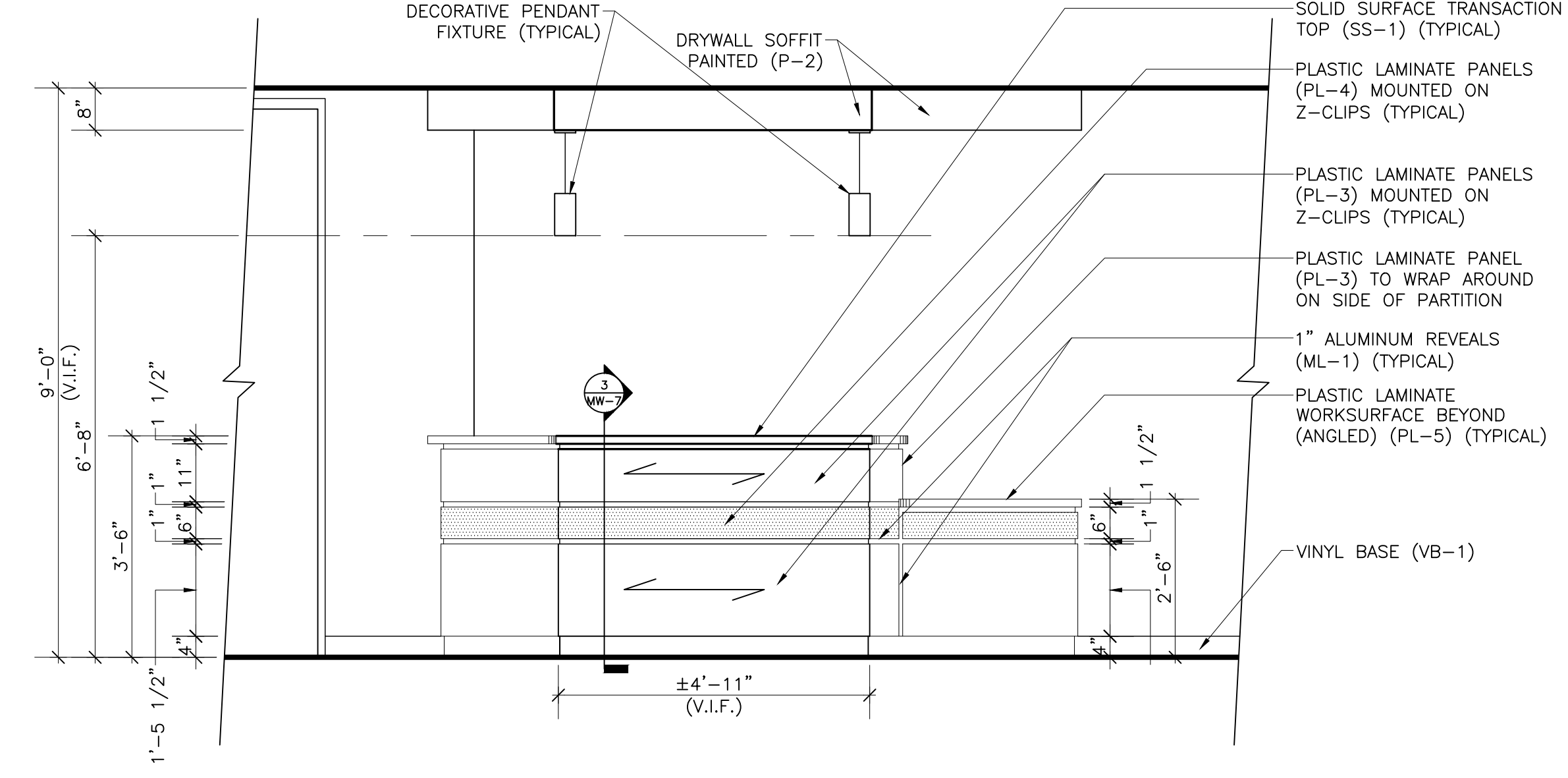
**NOTE:**  
SEE ELEVATIONS FOR FINISH LOCATIONS.



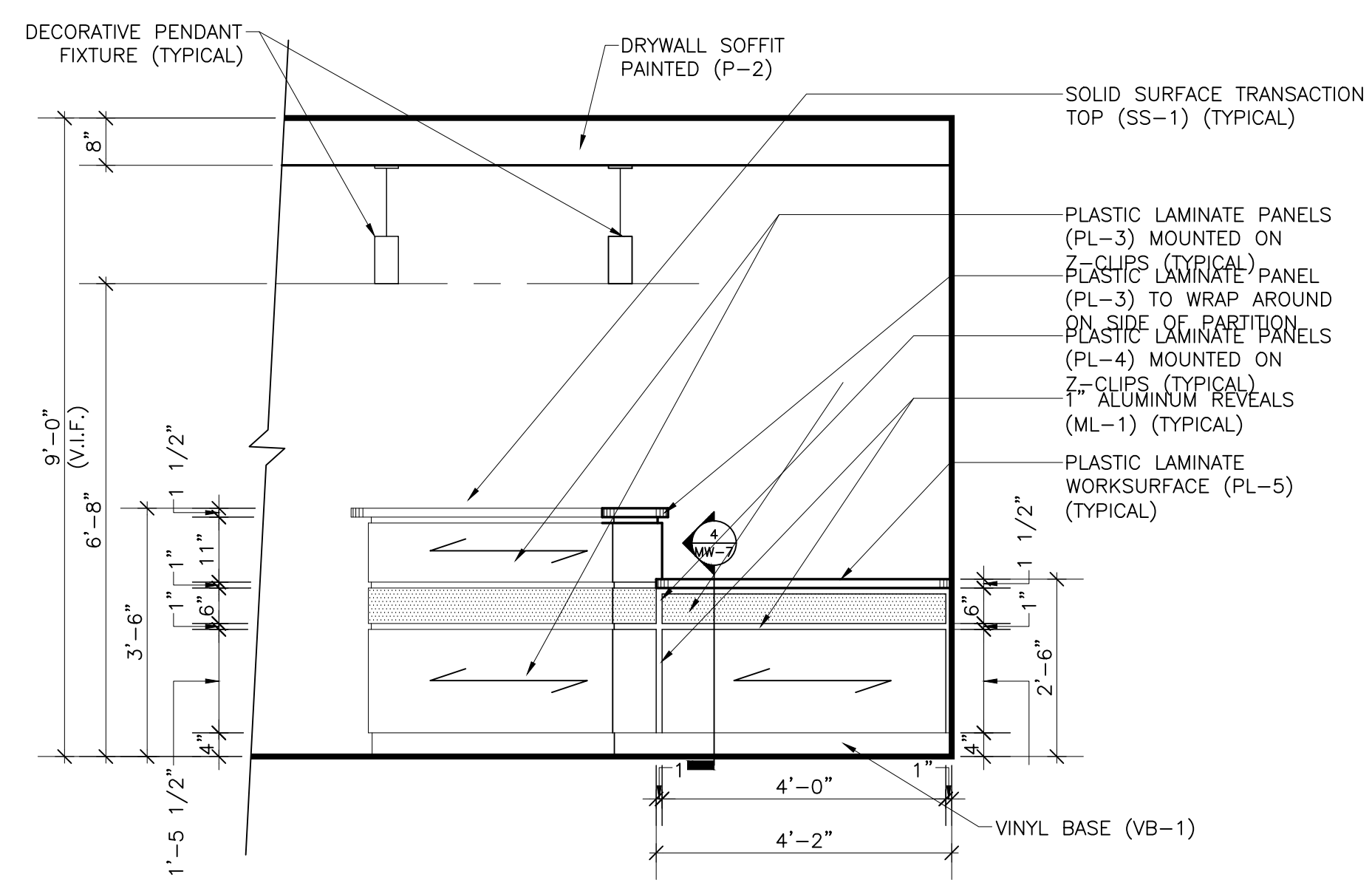
2 ENLARGED PLAN VIEW - RECEPTION #336  
SCALE: 1/2" = 1'-0"



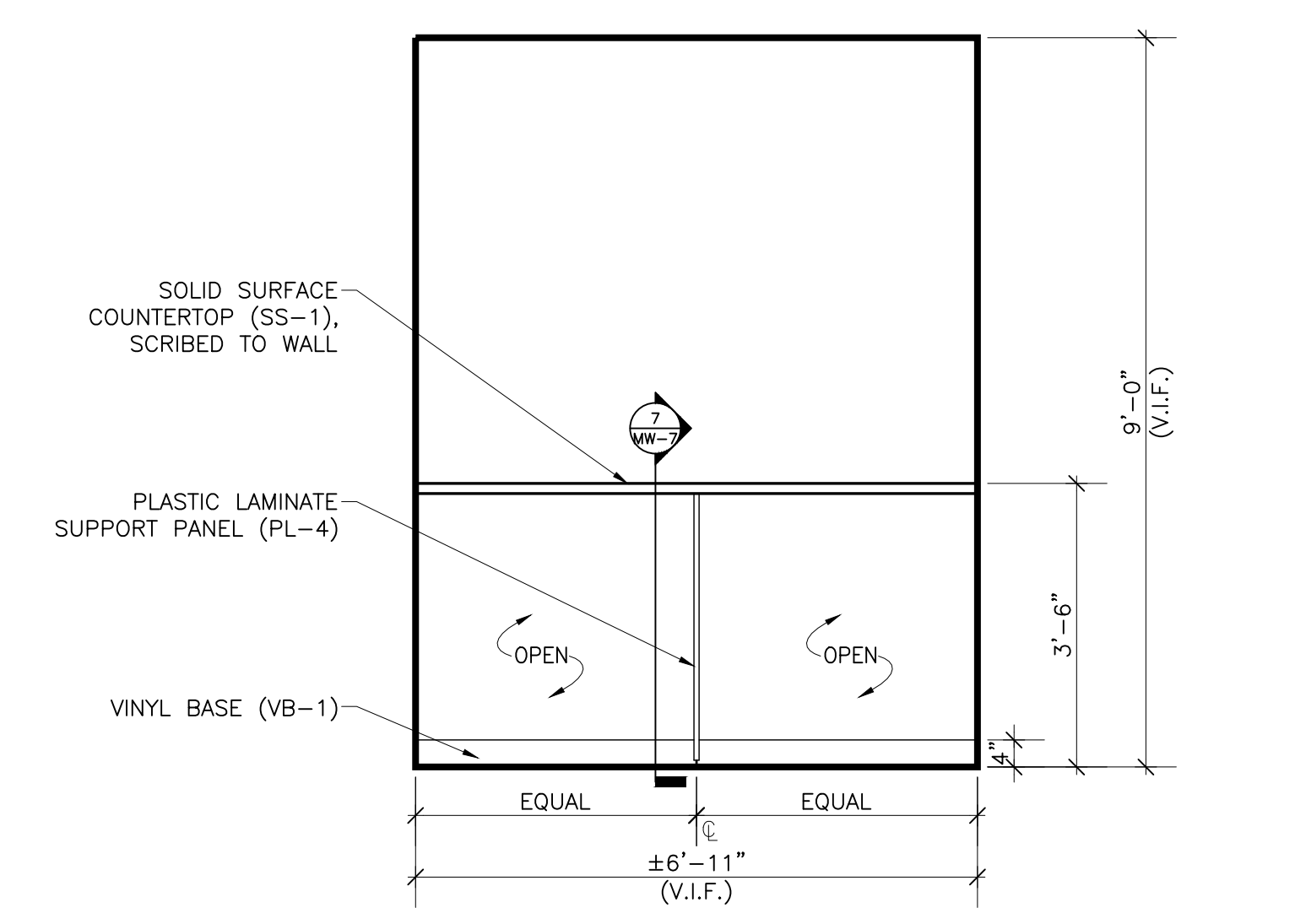
V ELEVATION - MILLWORK - RECEPTION #336  
SCALE: 1/2" = 1'-0"



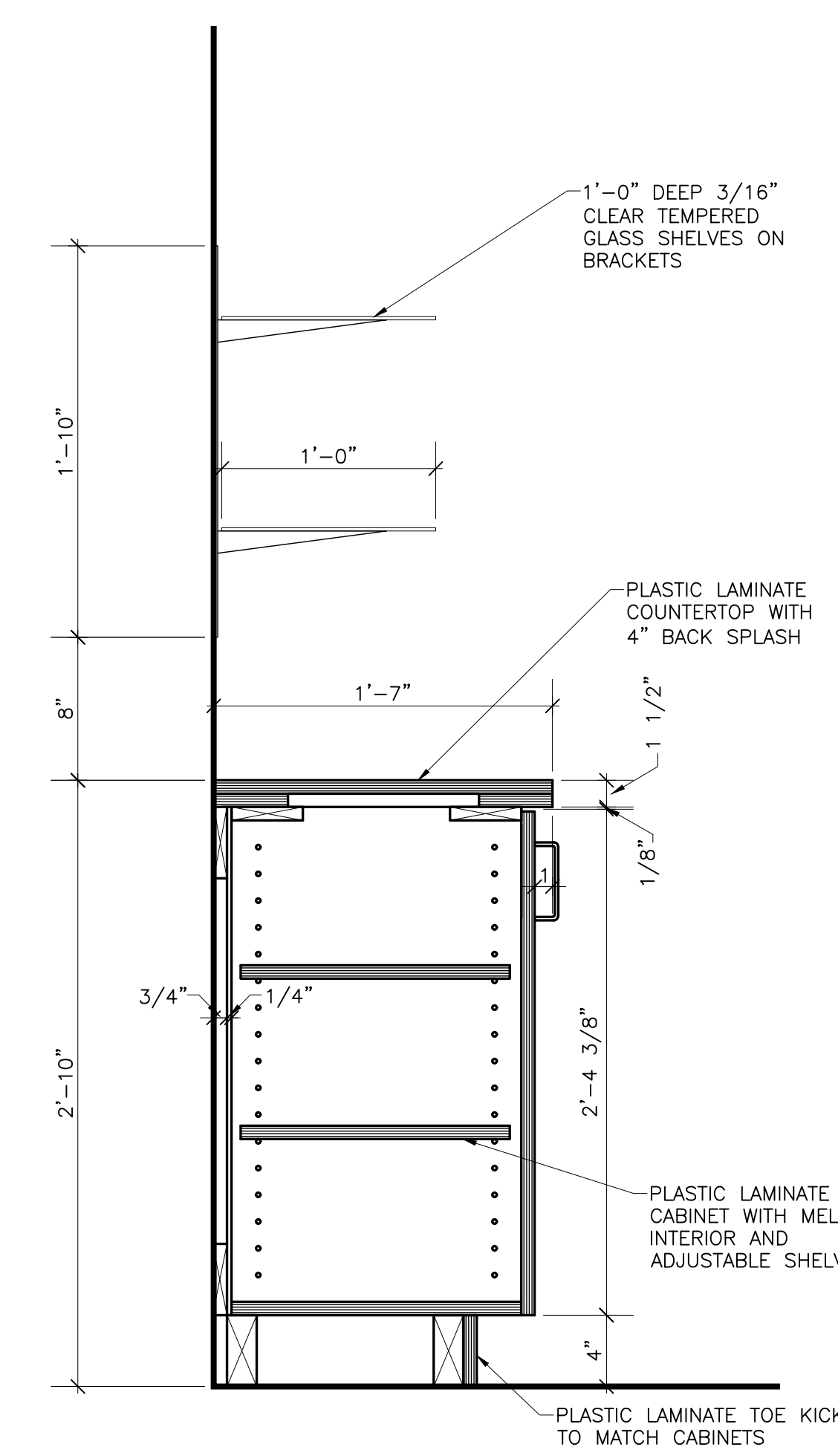
W ELEVATION - MILLWORK - RECEPTION #336  
SCALE: 1/2" = 1'-0"



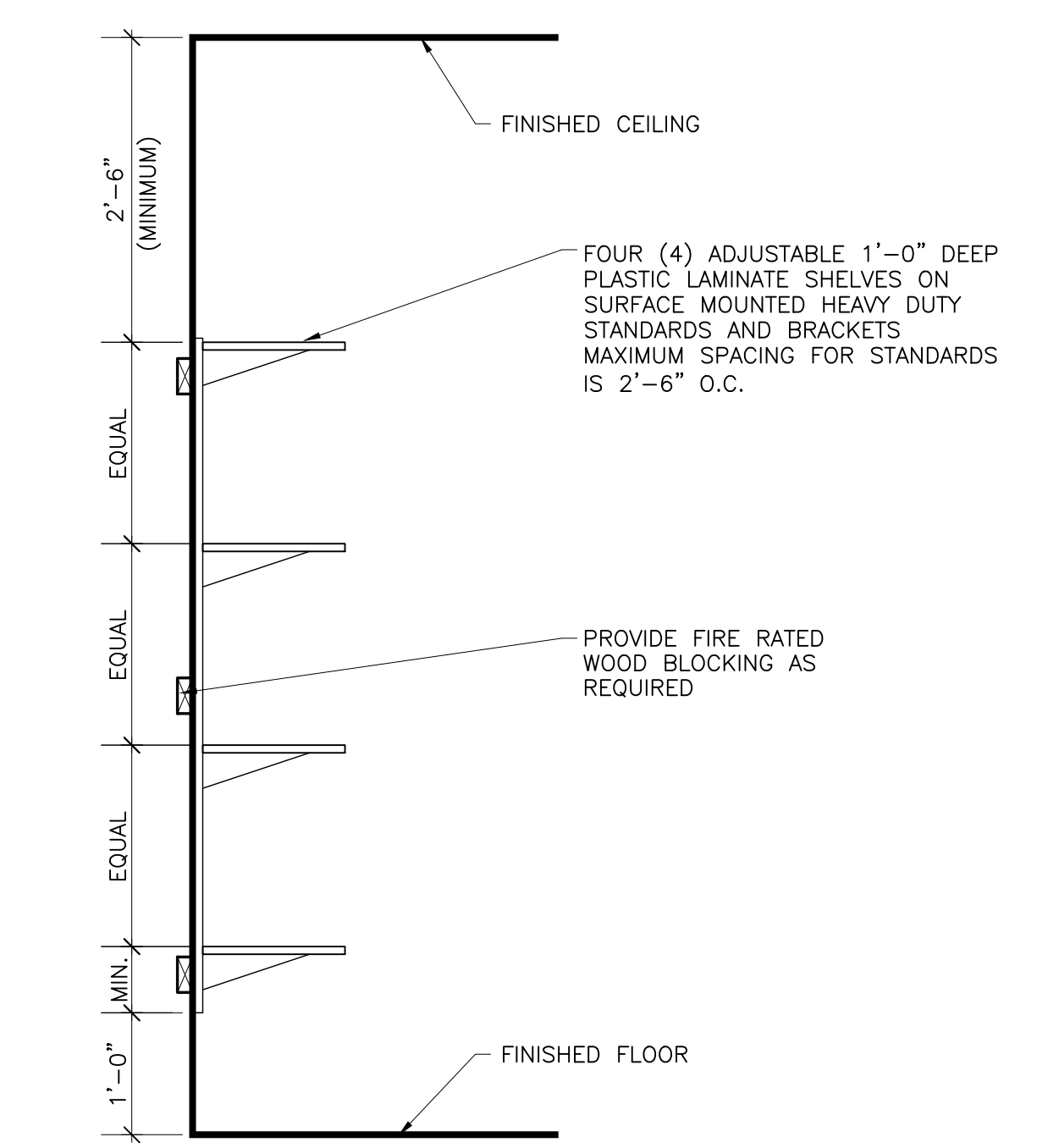
X ELEVATION - MILLWORK - RECEPTION #336  
SCALE: 1/2" = 1'-0"



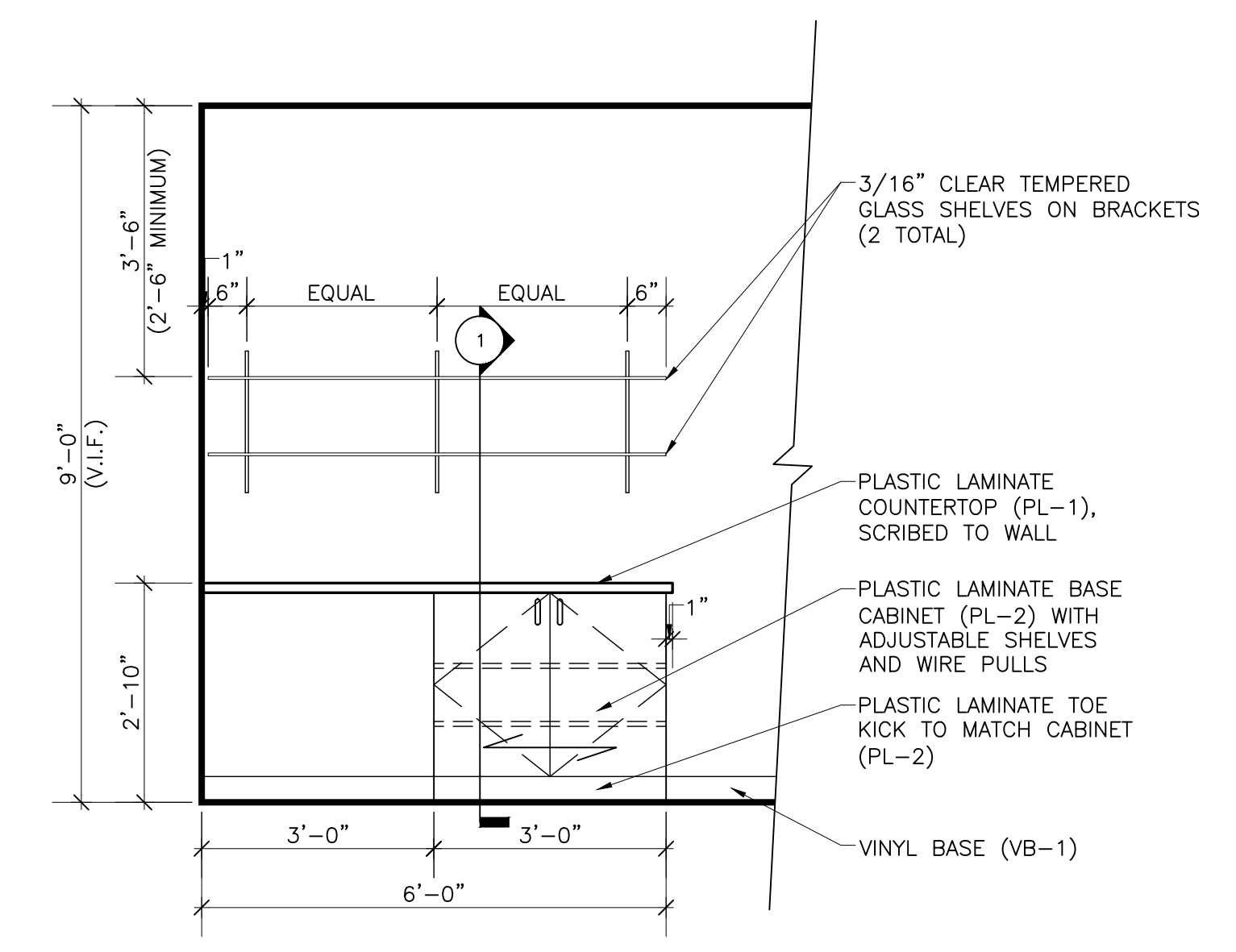
Y ELEVATION - MILLWORK - WAITING ROOM #334  
SCALE: 1/2" = 1'-0"



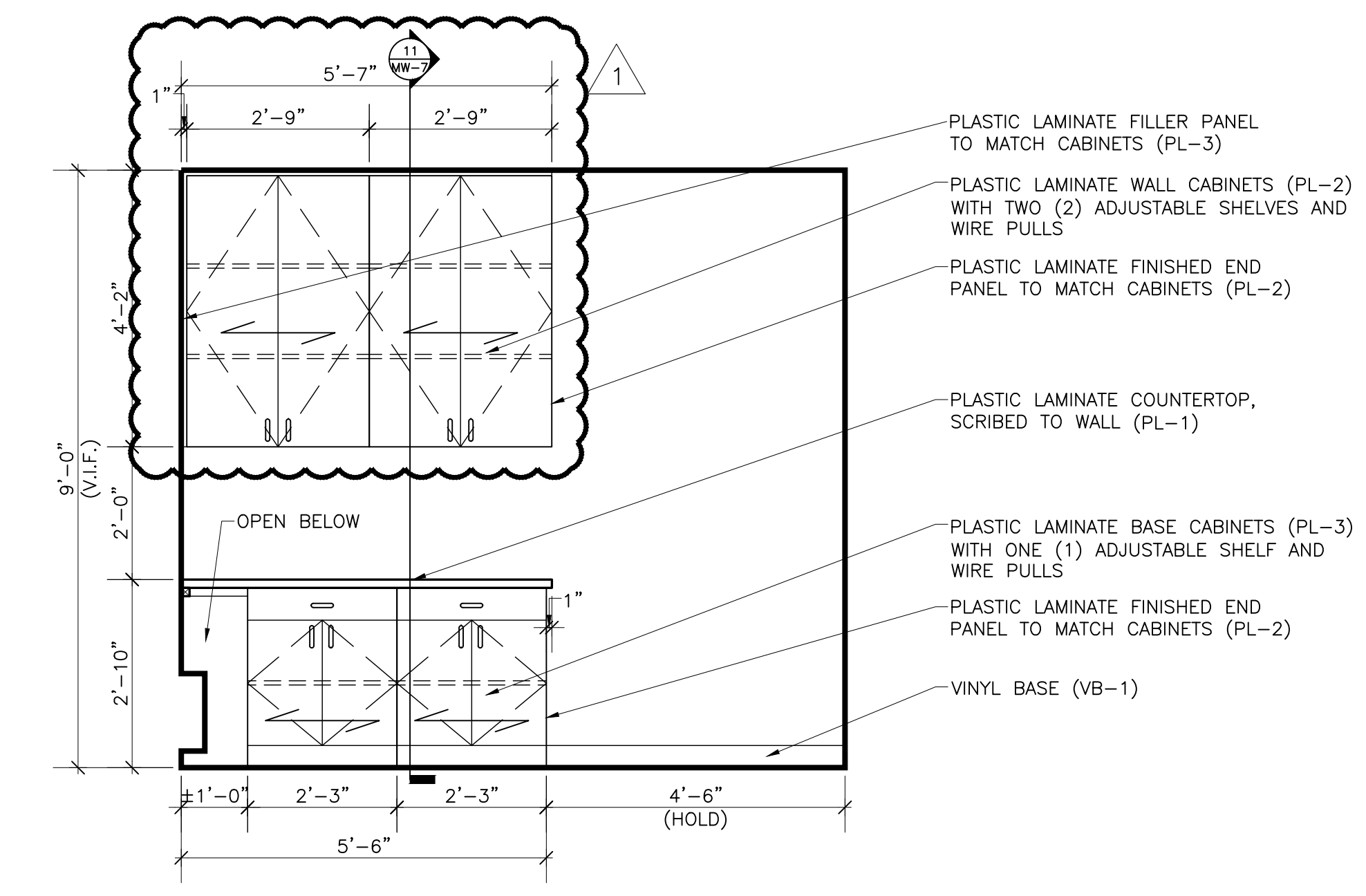
1 SECTION - CABINET AND GLASS SHELVES  
SCALE: 1 1/2" = 1'-0"



3 SECTION - ADJUSTABLE SHELVES  
SCALE: 3/4" = 1'-0"



Z ELEVATION - MILLWORK - AUDIOLOGY OFFICE #337  
SCALE: 1/2" = 1'-0"



AA ELEVATION - MILLWORK - AUDIOLOGY BOUTIQUE #330  
SCALE: 1/2" = 1'-0"

TENANT:

DR. GIRGIS  
(REMODEL & EXPANSION)  
ELM PLAZA  
908 NORTH ELM STREET  
SUITE #304  
HINSDALE, ILLINOIS 60521

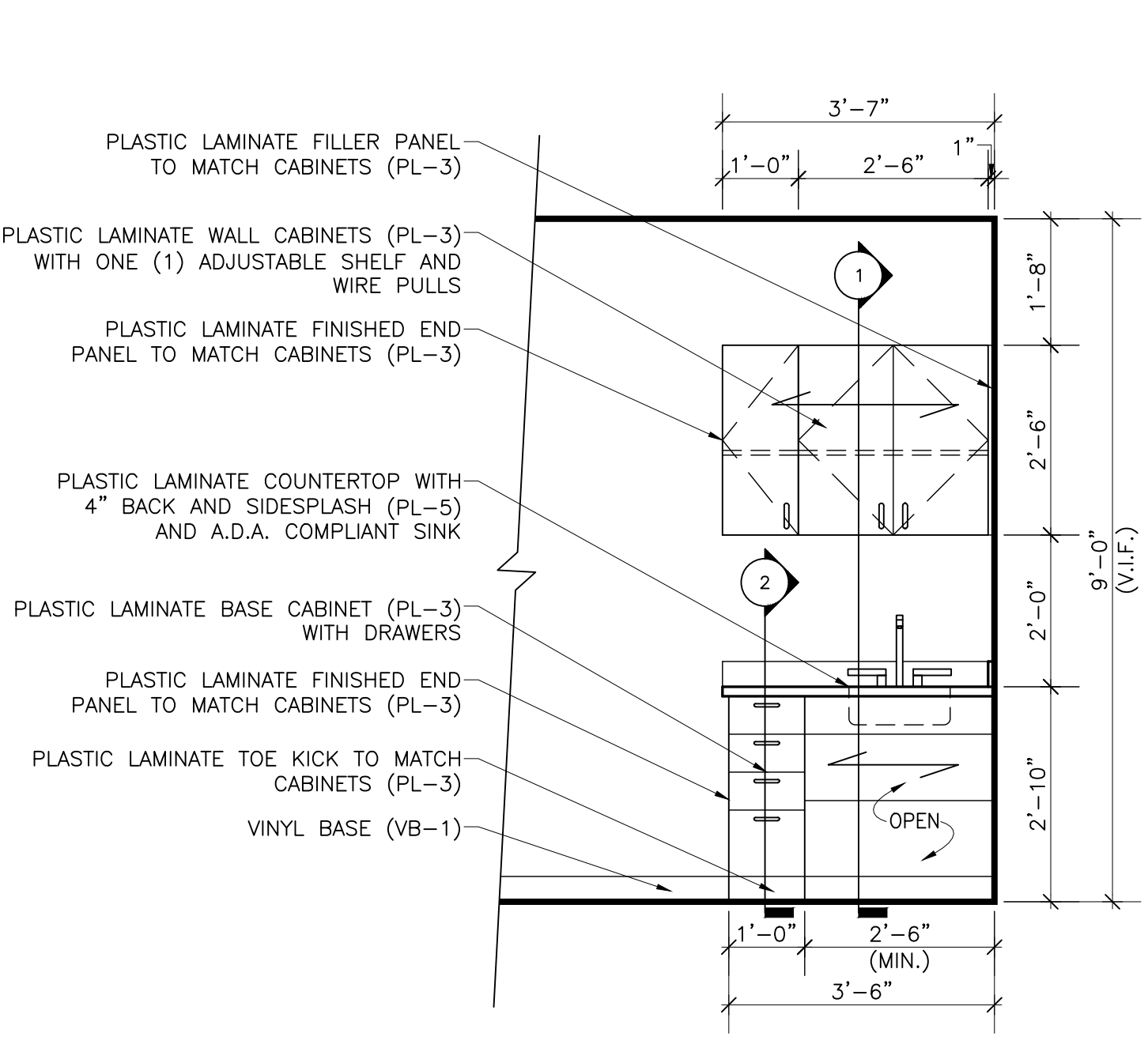
EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689  
PROJ. NO. 20761-16 R.S.F.  
SUBMITTED: DATE:

REVISOR FOR BID: 0810418  
FOR PERMIT: 0712018  
FOR BID: 0712018  
FOR APPROVAL: 0712018  
DRAWN: 0610118

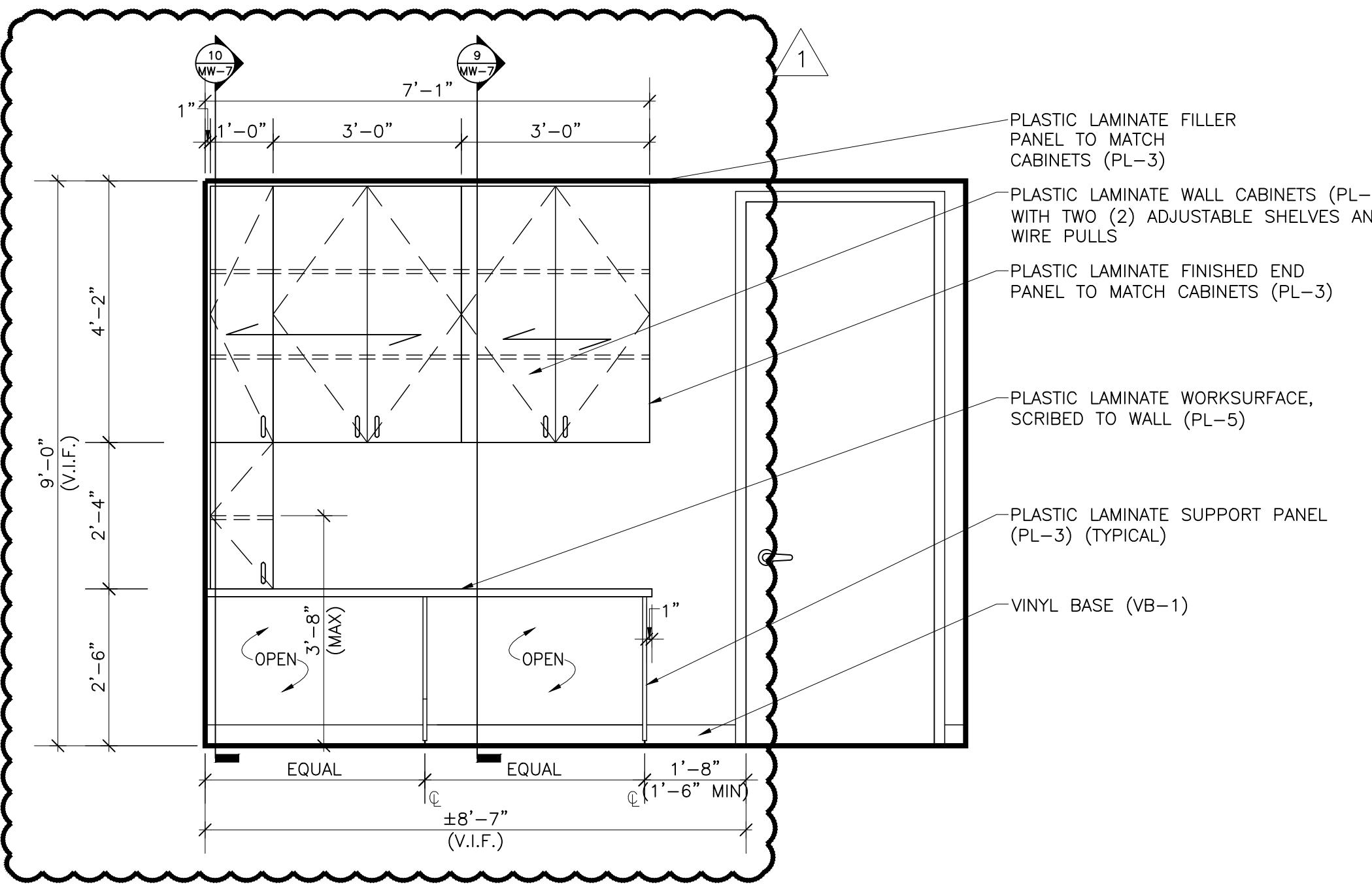
SHEET TITLE:  
RECEPTION #336, WAITING ROOM #334 -  
ENLARGED PLAN VIEW, ELEVATIONS  
AUDIOLOGY OFFICE/BOUTIQUE -  
ELEVATIONS AND SECTION

**NOTE:**  
ALL CABINET INTERIORS ARE TO BE WHITE MELAMINE.

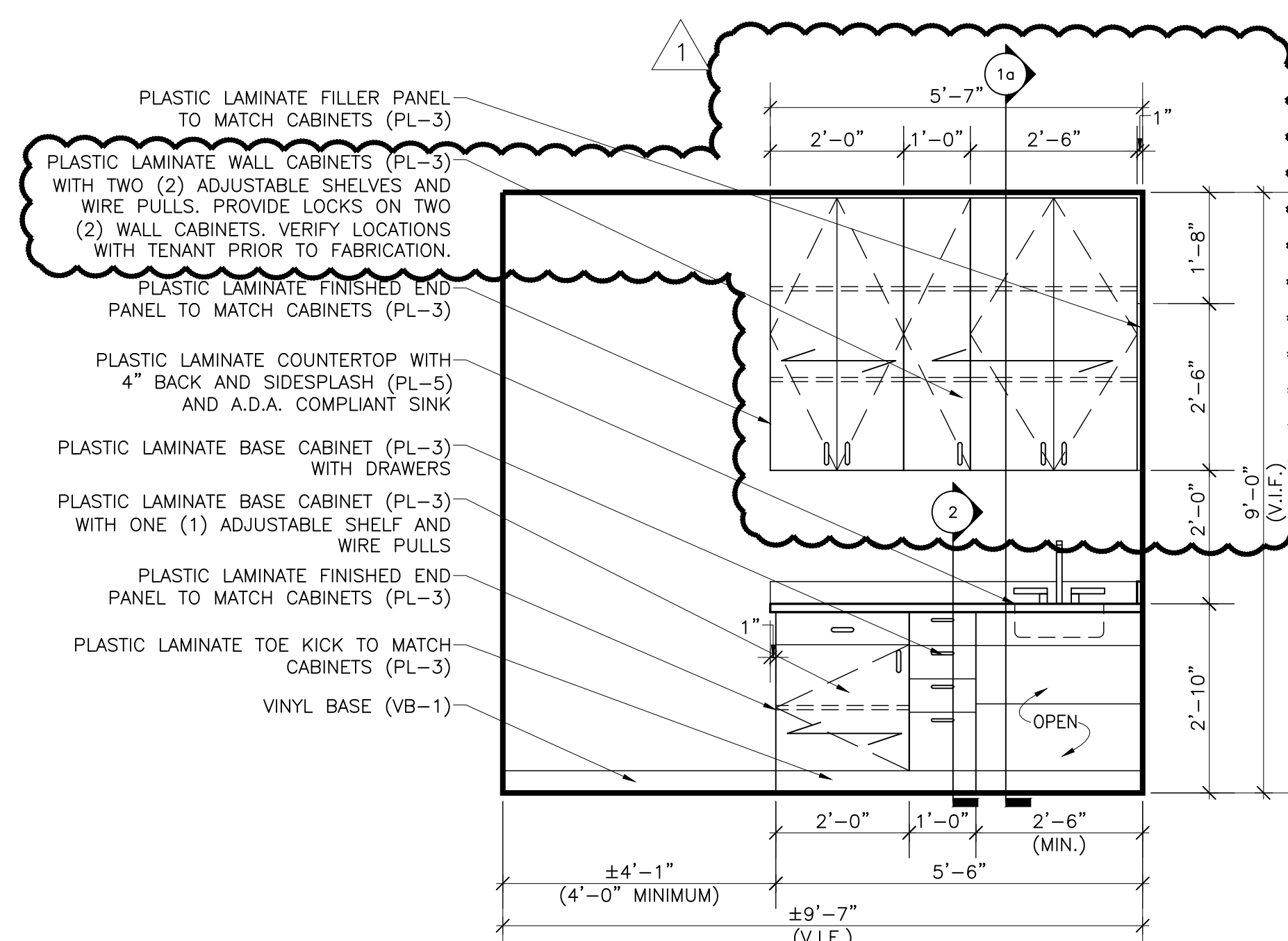
**NOTE:**  
SEE ELEVATIONS FOR FINISH LOCATIONS.



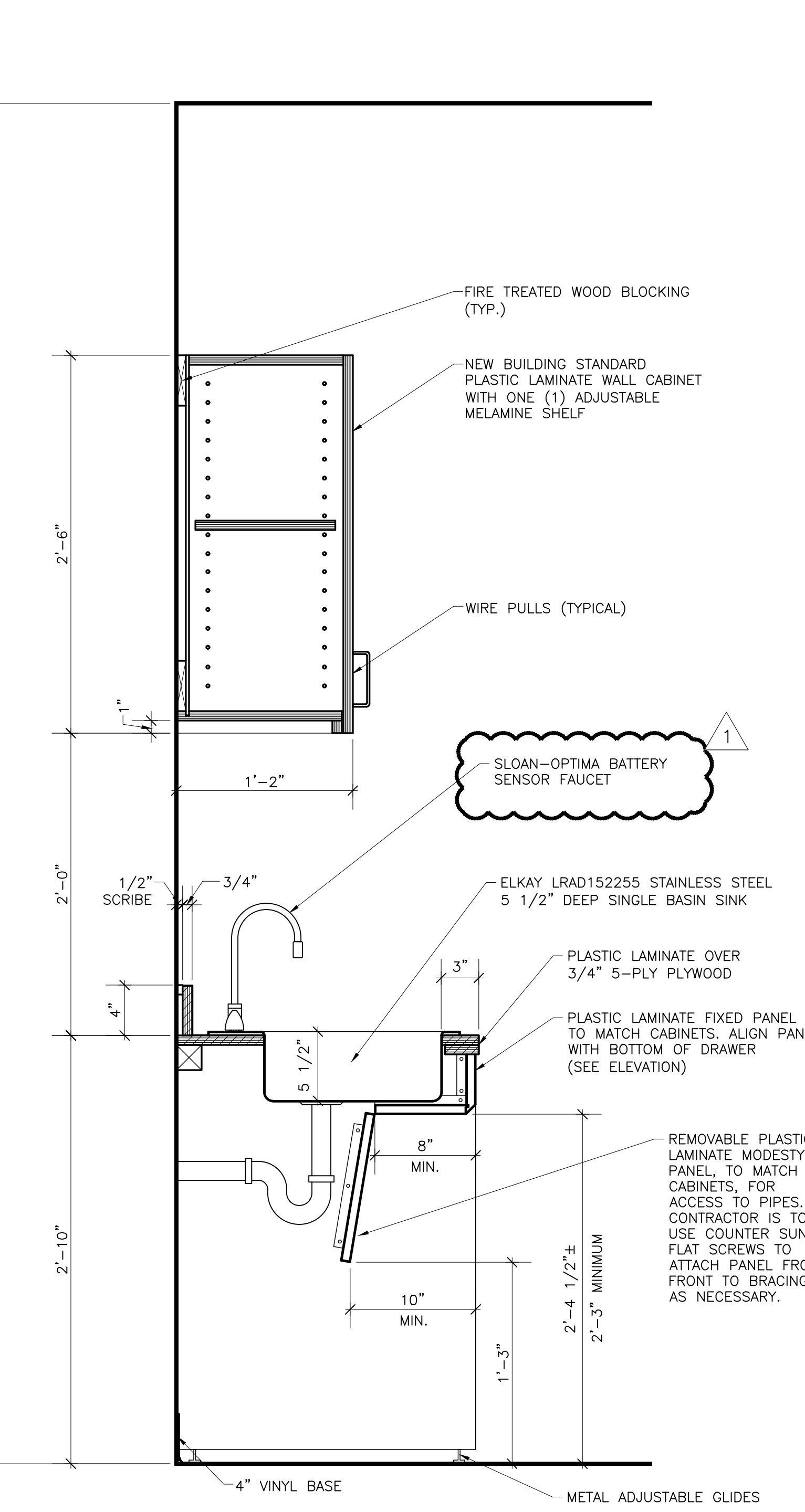
**BB** ELEVATION - MILLWORK - EXAM ROOM #331  
SCALE: 1/2" = 1'-0"



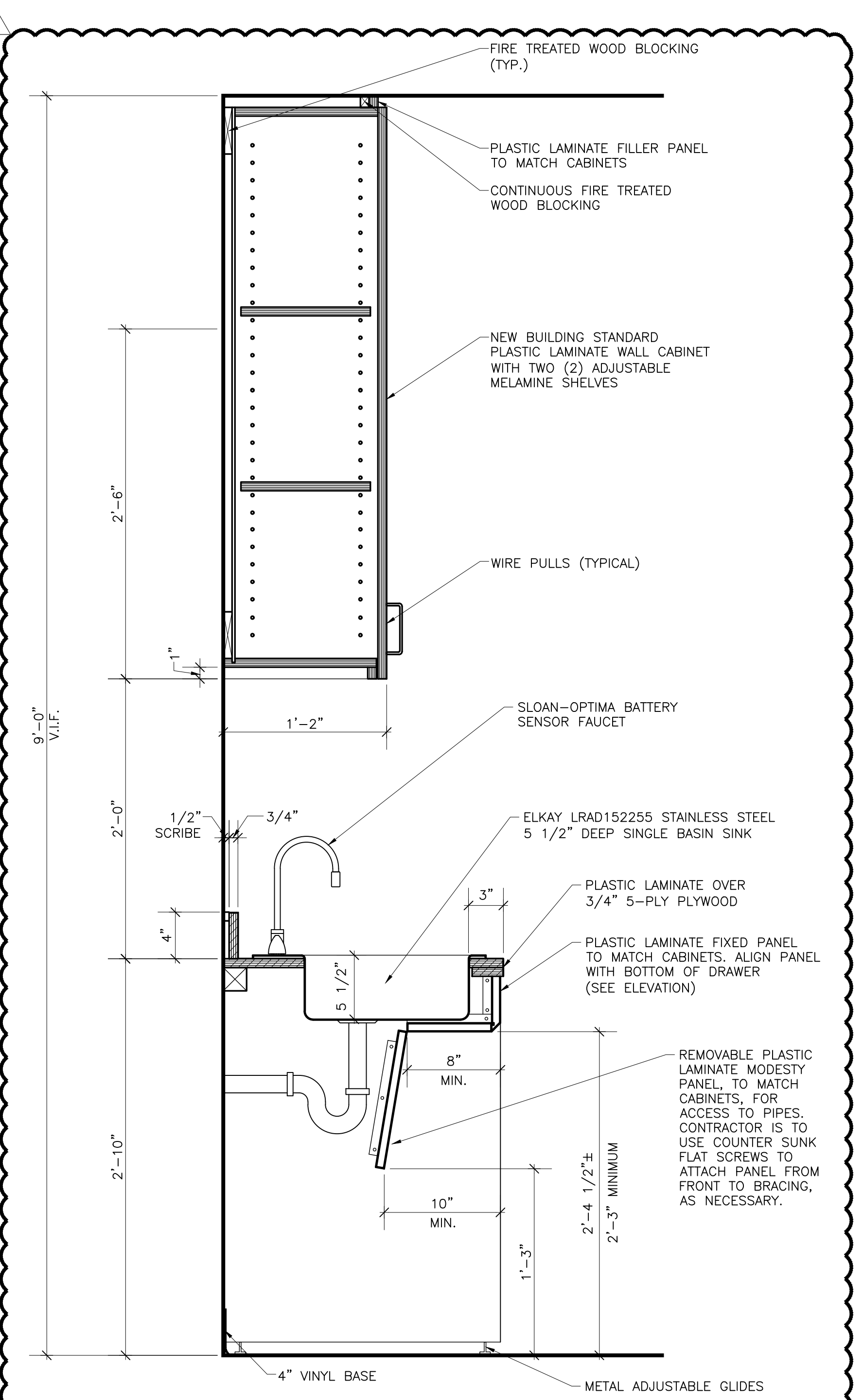
**CC** ELEVATION - MILLWORK - TESTING ROOM #332  
SCALE: 1/2" = 1'-0"



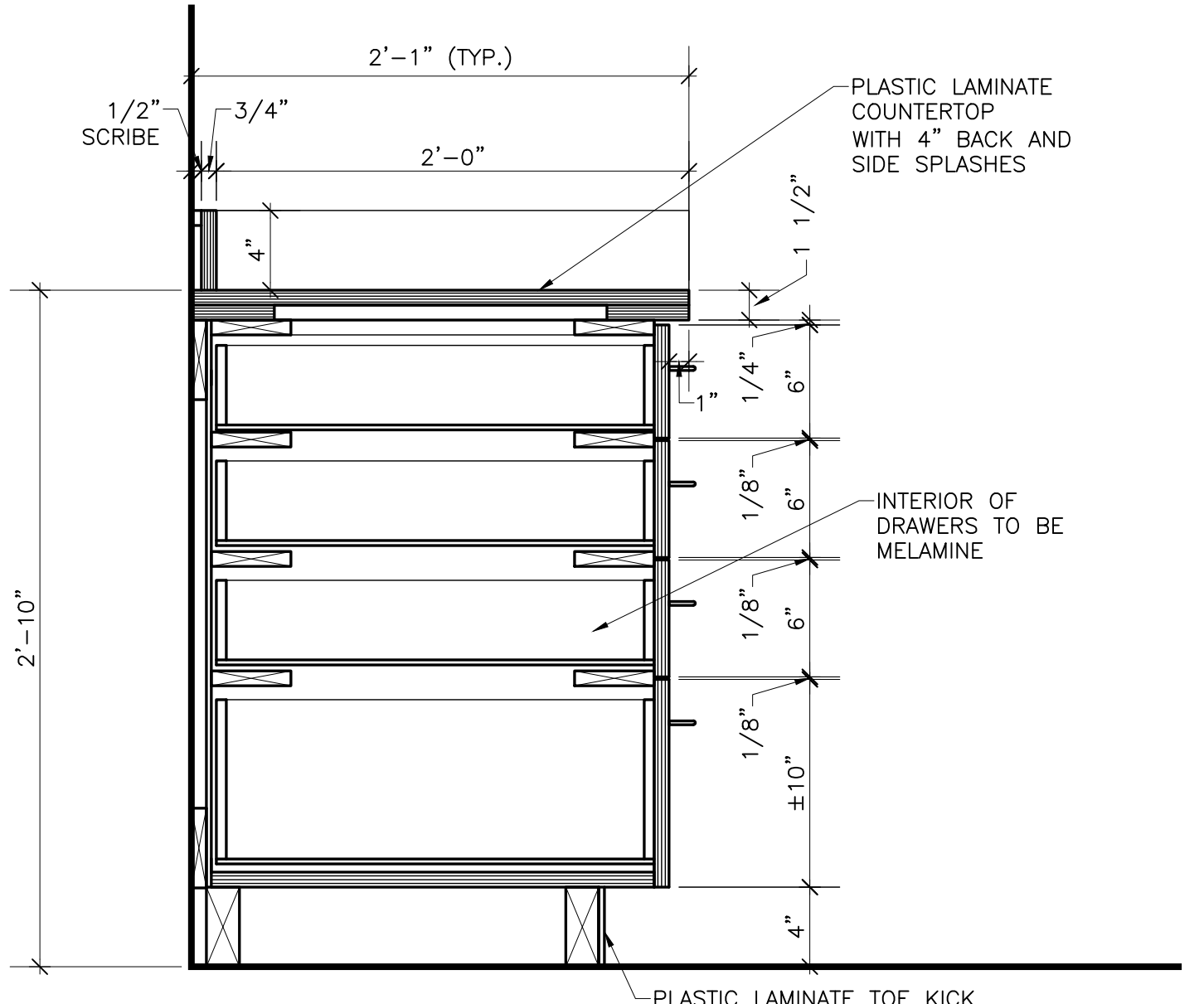
**DD** ELEVATION - MILLWORK - TESTING ROOM #332  
SCALE: 1/2" = 1'-0"



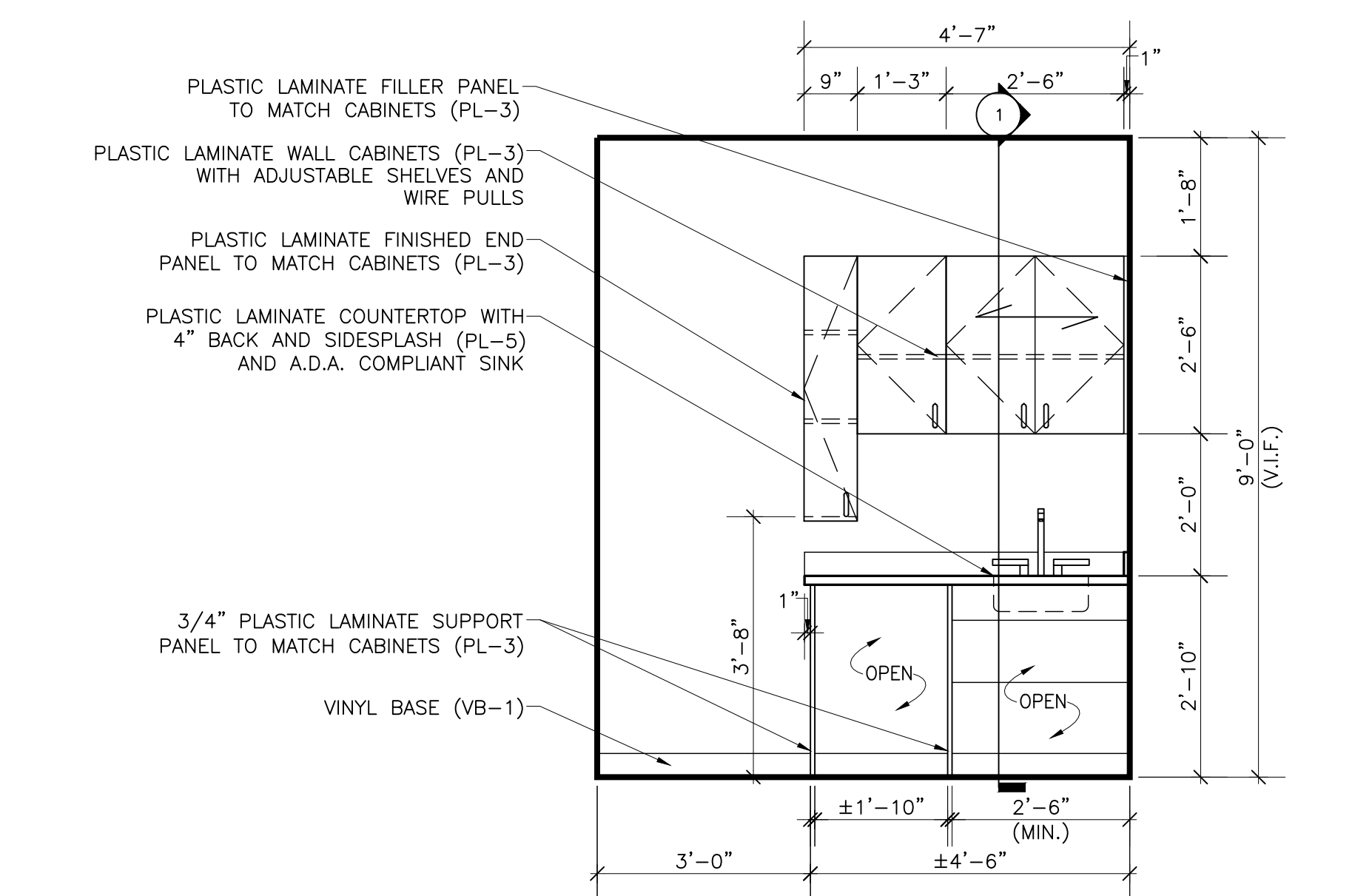
**1** SECTION - SINK  
SCALE: 1 1/2" = 1'-0"



**1A** SECTION - SINK  
SCALE: 1 1/2" = 1'-0"



**2** SECTION - CABINET/DRAWERS  
SCALE: 1 1/2" = 1'-0"



**EE** ELEVATION - MILLWORK - SHOTS ROOM #333  
SCALE: 1/2" = 1'-0"

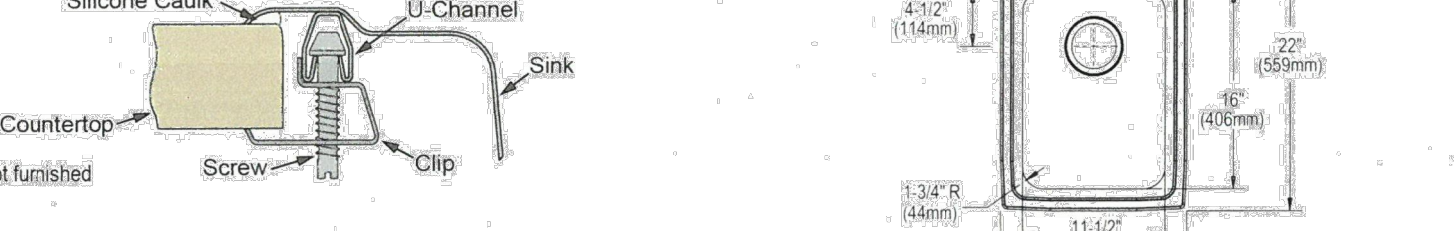
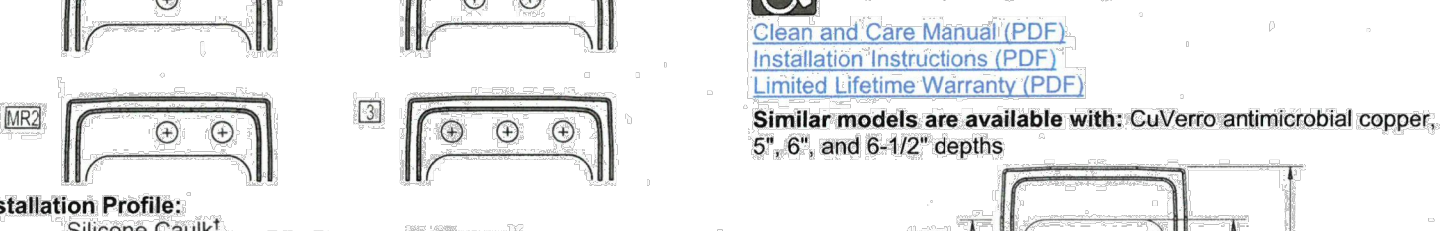
**SINGLE BOWL TOP MOUNT A.D.A. COMPLIANT SINK**

**ELKAY SPECIFICATIONS**  
Elkay Lustritone Classic Stainless Steel 15" x 22" x 5-1/2" Single Bowl Top Mount ADA Sink Model(s) LRA152255

**PRODUCT SPECIFICATIONS**  
Elkay Lustritone™ Classic Stainless Steel 15" x 22" x 5-1/2", Single Bowl Top Mount ADA Sink. Sink is manufactured from 18 gauge 304 Stainless Steel with a Lustritone Finish, Rear Center drain placement, and Bottom only pads.

Installation Type:	Top Mount
Material:	304 Stainless Steel
Finish:	Lustritone
Gauge:	18
Sound Densening:	Bottom only pads
Number of Bowls:	1
Sink Dimensions:	15" x 22" x 5-1/2"
Bowl Dimensions:	11-1/2" x 16" x 5-3/8"
Drain Size:	3-1/2" (89mm)
Drain Location:	Rear Center
Minimum Cabinet Size:	18"
Mounting Hardware:	Part # 6409010 included for countertops up to 3/4" (19mm) thick
Cutout Template #:	11000101255

**Installation Profile:** Silicone Caulk, Channel, Clip, Screw, Not finished



PART: \_\_\_\_\_ QTY: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
DATE: \_\_\_\_\_  
NOTES: \_\_\_\_\_  
APPROVAL: \_\_\_\_\_

**A.D.A. COMPLIANT FAUCET**

**SLOAN OPTIMA® SENSOR FAUCET**  
EAF-750-BAT-ISM-CP-0.35GPM-MLM-IR-IQ-GPT (General Model Name: EAF750-ISM CP BATTERY FAUCET 0.35 GPM)

**CODE NUMBER**  
3335162

**DESCRIPTION**  
Battery Power Supply, Integrated Side Mixer, Polished Chrome Finish, 0.35 gpm, Multi-Laminar Spray, Infrared Sensor, Optima® Battery-Powered Deck-Mounted Gooseneck Body Faucet.

- DETAILS**
- Flow Rate: 0.35 gpm (1.3 Lpm) (0.35 GPM)
  - Spray Type: Multi-Laminar (MLM)
  - Sensor Type: Infrared (IR)
  - Mounting Type: Single Hole
  - Power Supply: Battery (BAT)
  - Temperature Mixer: Integrated Side Mixer (ISM)
  - Finish: Polished Chrome (CP)
  - Factory Default Timeout: 30s
  - Factory Default GPC: 0.175

**FEATURES**  
Commercial Grade, ADA Compliant, Electronic, Sensor-Activated, Die-Cast Metal Gooseneck Hand Washing Faucet with the following features:

- 12/24 Hour Hygienic Rinse Line Purge Function - Field Settable
- Unitary Spout Housing Assembly for Easy Cleaning
- Modular One-piece Construction with all Concealed Components above deck
- Double Infrared Sensors with Automatic Setting Feature and Microprocessor
- Low Battery Indicator
- Bi-stable Magnetic Solenoid Valve
- Water Supply Connection with Flexible High-pressure Hose and Strainer
- 6 volt Lithium CR P2 Commercial Battery Included
- Appropriate Mounting Hardware Included
- IQ-Click feature permits activation of continuous run and temporary off modes
- Installation Similar to Conventional Single Lever Faucet
- IQ-Click feature permits activation of continuous run and temporary off modes

**COMPLIANCE & CERTIFICATIONS**  
ADA Compliant, CEC Compliant, CalGreen Compliant, GPC 0.25 or less, Satisfies LEED Credits, cUPC Low Lead Compliant

**NOTES**  
All information contained within this document subject to change without notice.  
Looking for other variations of the EAF-750 product? View the general spec sheet with all options.  
Find a matching soap dispenser for this faucet.  
Find a compatible sink for this faucet.

**DOWNLOADS**

- EAF 700/750 Installation Instructions
- Faucet Spray Heads Repair and Maintenance Guide
- Optima Plus EAF 750 Repair and Maintenance Guide
- Additional Downloads

**ELECTRICAL SPECIFICATIONS**

- Timeout Adjustment Settings: 120s

**WARRANTY**  
3 Year



**THE INTERIOR DESIGN GROUP LTD.**  
750 WARRENVILLE ROAD | SUITE 103  
LISLE, ILLINOIS 60532  
PHONE 630 | 348 | 0400  
FAX 630 | 348 | 0388  
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**PROJECT DESIGN TEAM:**  
ARCHITECT: LARRY DOHRER  
DESIGNER: DIANE HANSA  
REVIEWER: TIMOTHY R. LIES  
DRAWN BY: LAUREL A. LANG  
REVISED BY:

**MANAGEMENT:**  
**CBRE**  
ELM PLAZA  
908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521

**TENANT:**  
**DR. GIRGIS (REMODEL & EXPANSION)**  
ELM PLAZA  
908 NORTH ELM STREET  
SUITE #304  
HINSDALE, ILLINOIS 60521

EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689  
PROJ. NO. 20761-16 R.S.F.  
SUBMITTED: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISED FOR BID: 08/10/18  
FOR PERMIT: 07/12/18  
FOR BID: 07/12/18  
FOR APPROVAL: 07/12/18  
DRAWN: 06/10/18  
SHEET TITLE:  
EXAM ROOM #331, TESTING ROOM #332,  
SHOT ROOM #333  
ELEVATIONS, SECTIONS,  
FIXTURE CUT SHEETS



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PROJECT DESIGN TEAM:

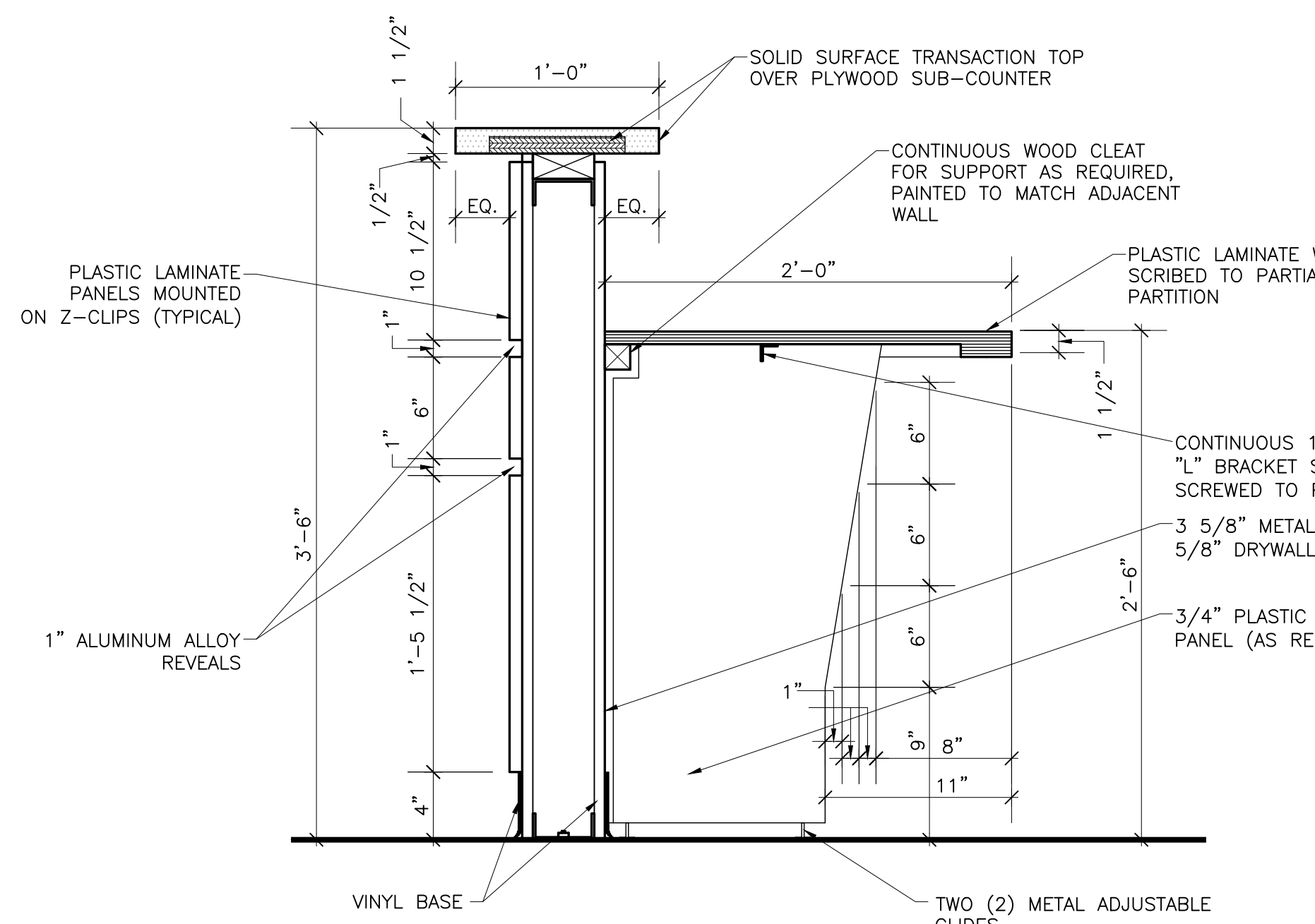
ARCHITECT: LARRY DOHRER  
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REVISED BY:

MANAGEMENT:

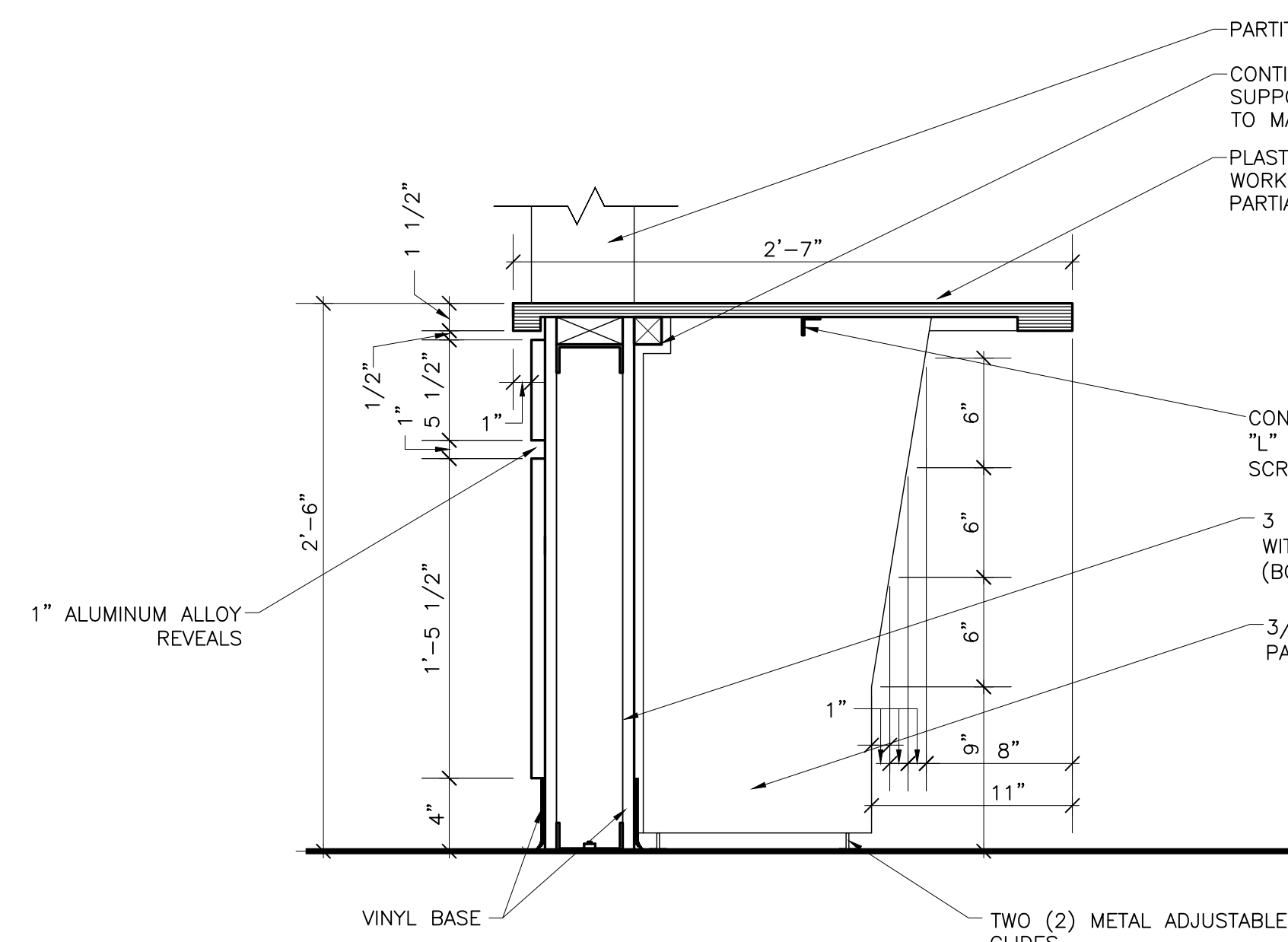
**CBRE**  
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908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521

**NOTE:**  
ALL CABINET INTERIORS ARE TO BE WHITE MELAMINE.

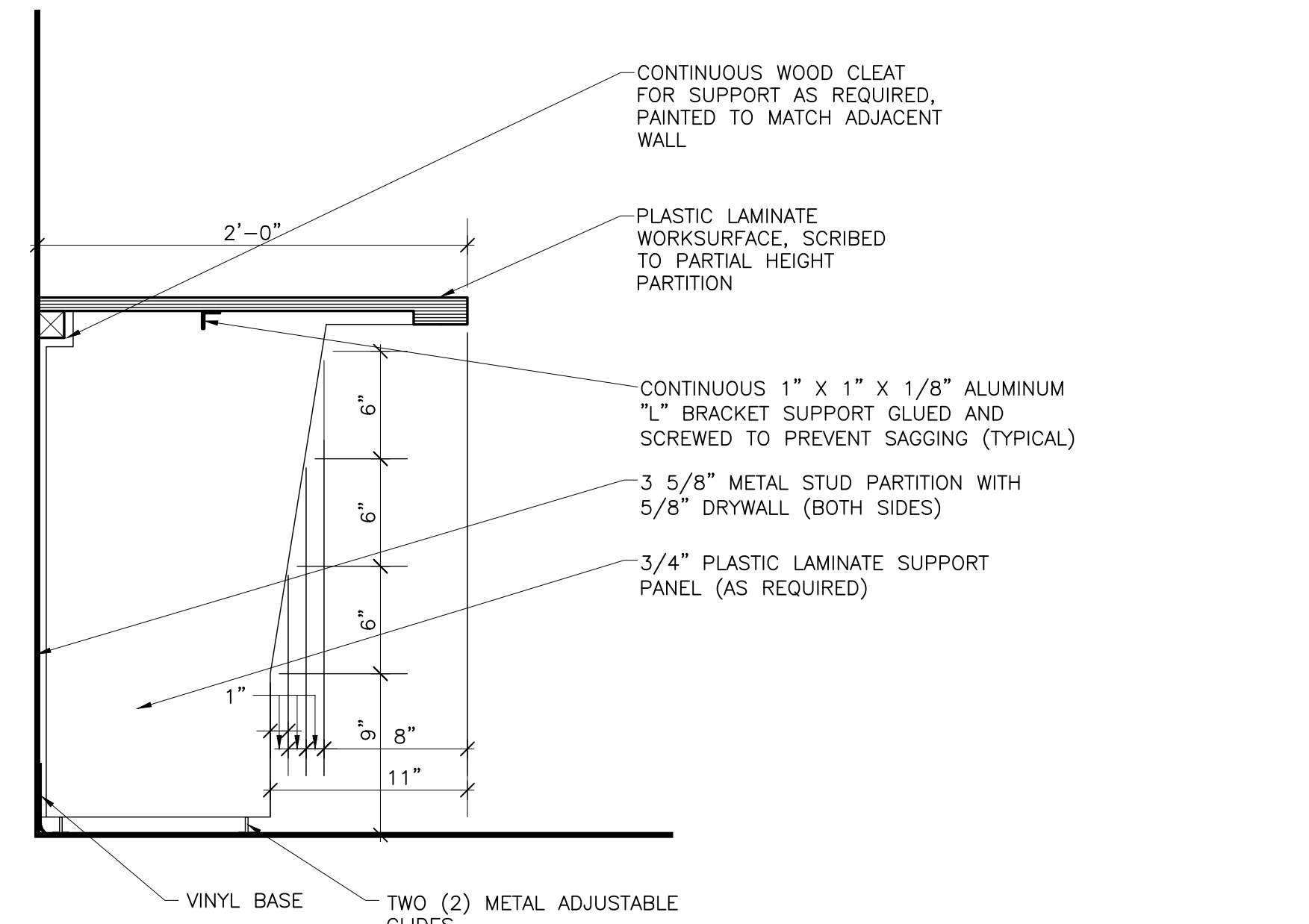
**NOTE:**  
SEE ELEVATIONS FOR FINISH LOCATIONS.



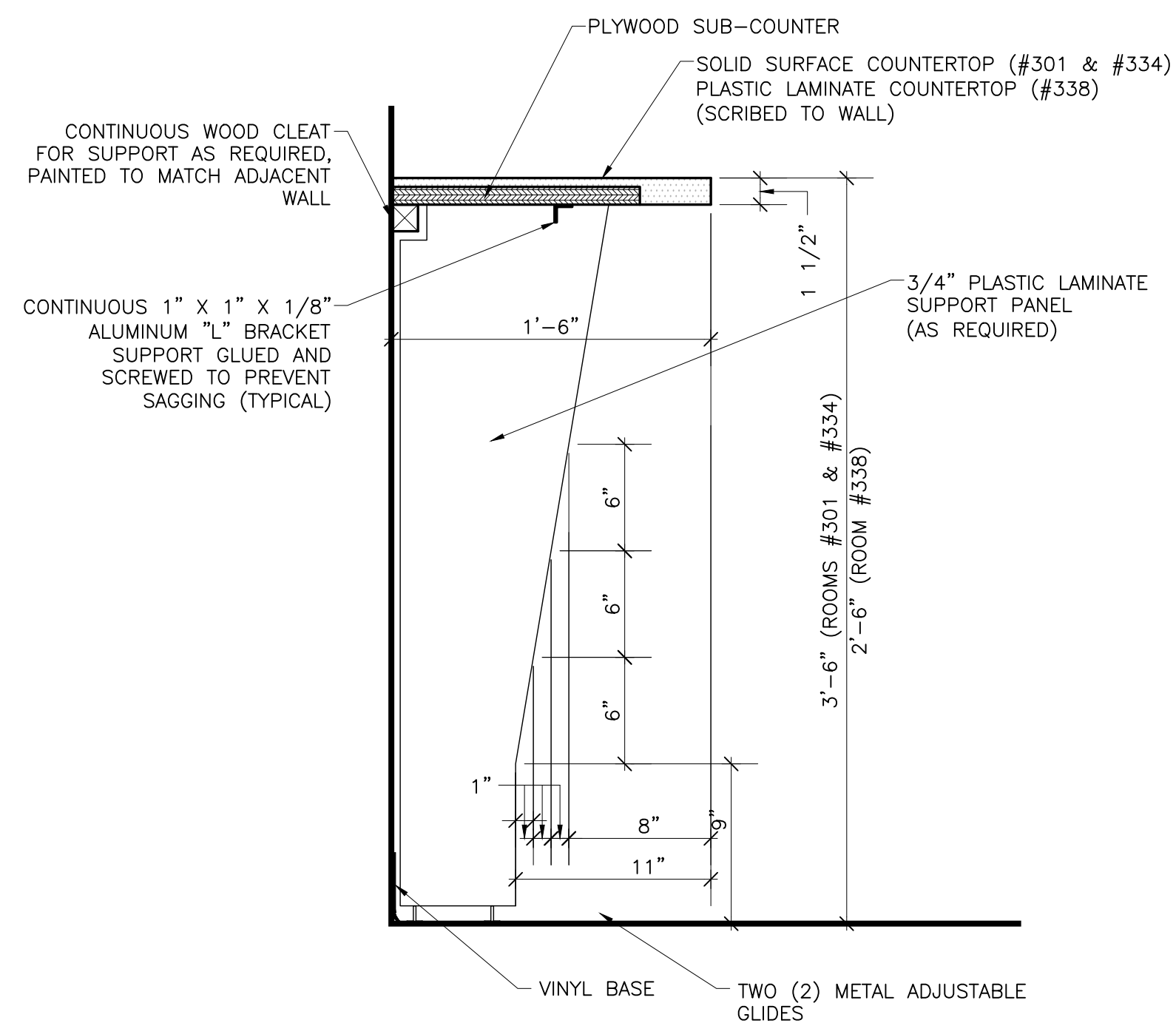
3 SECTION - RECEPTION DESK  
SCALE: 1 1/2"=1'-0"



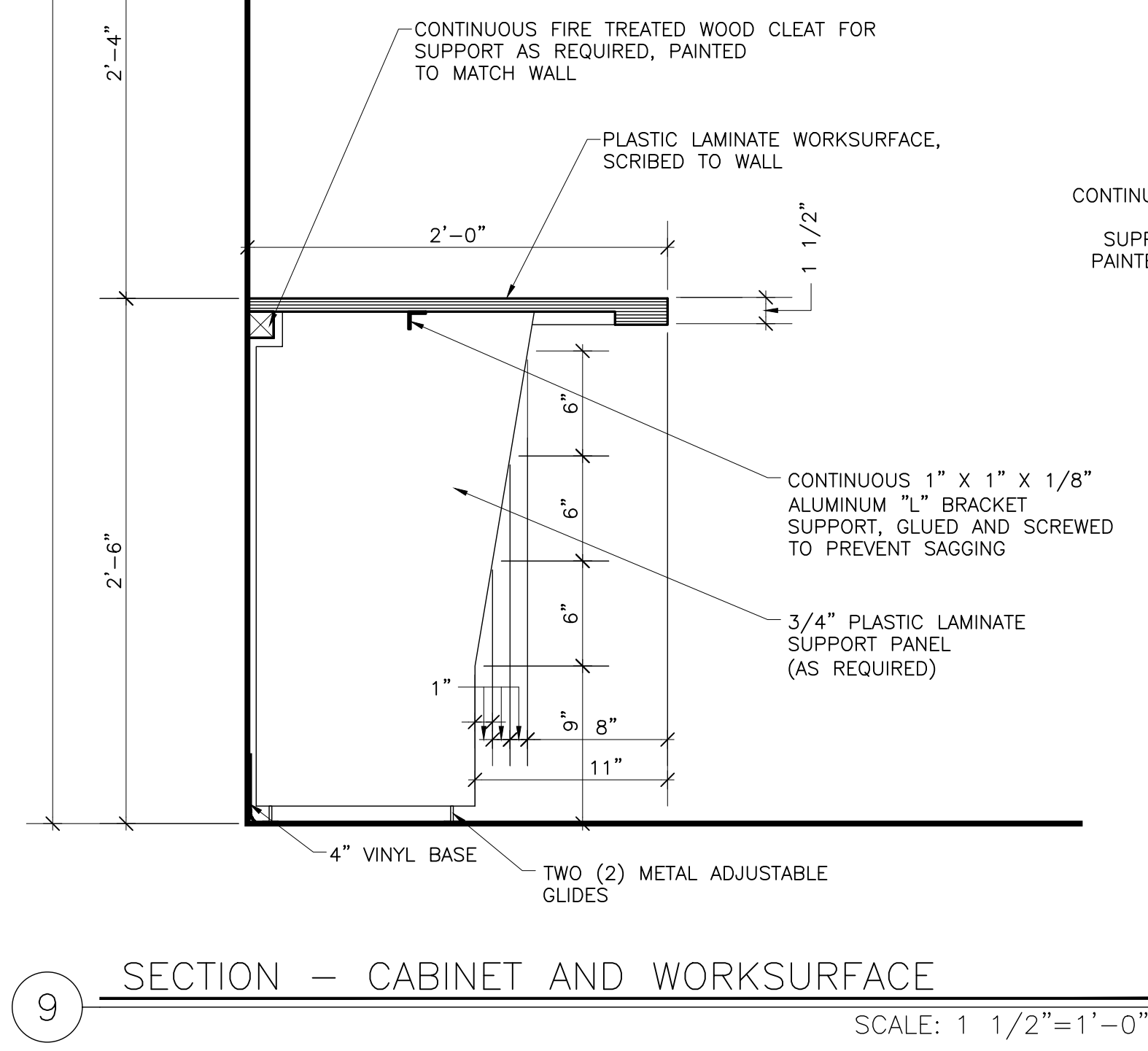
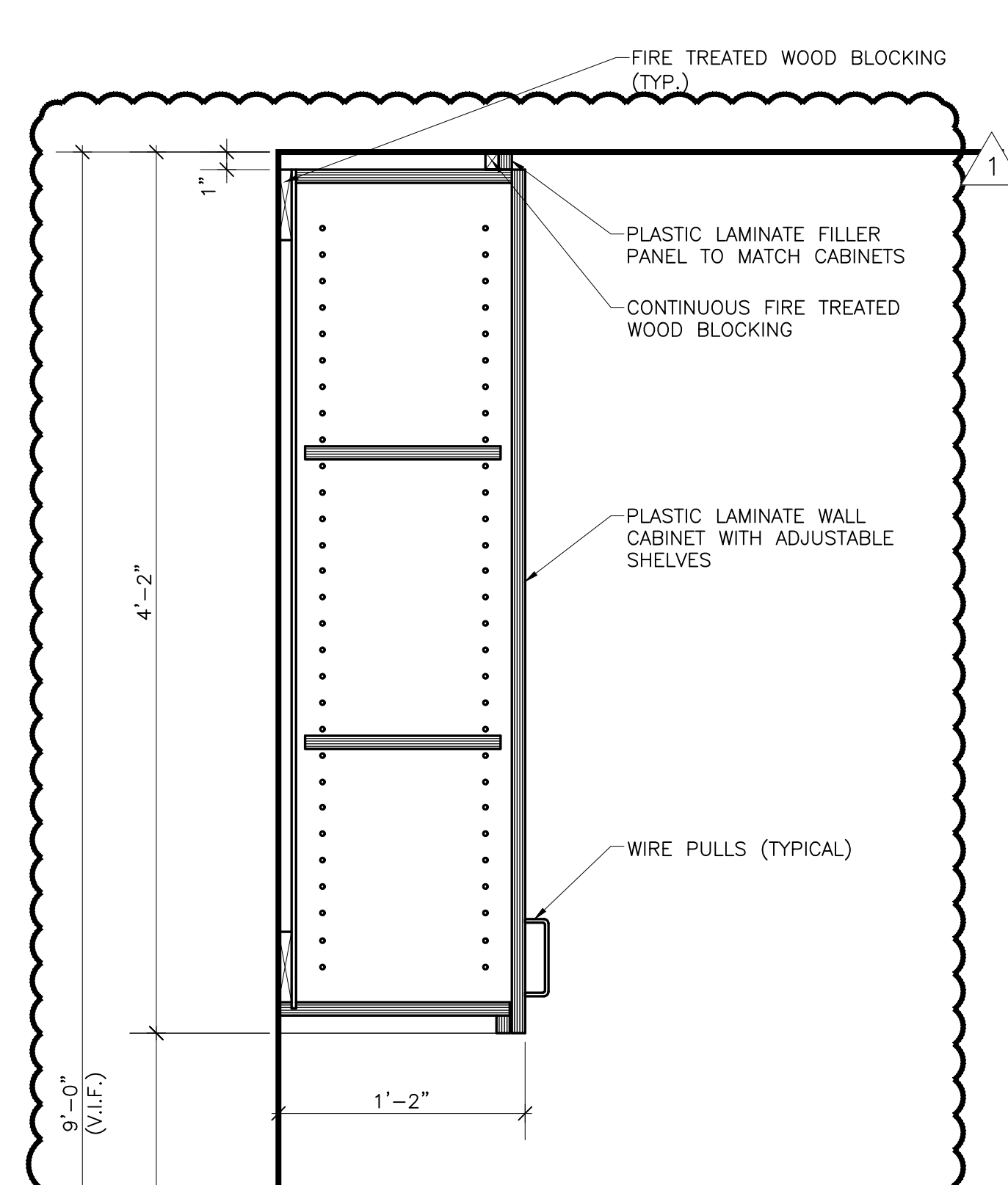
4 SECTION - RECEPTION DESK  
SCALE: 1 1/2"=1'-0"



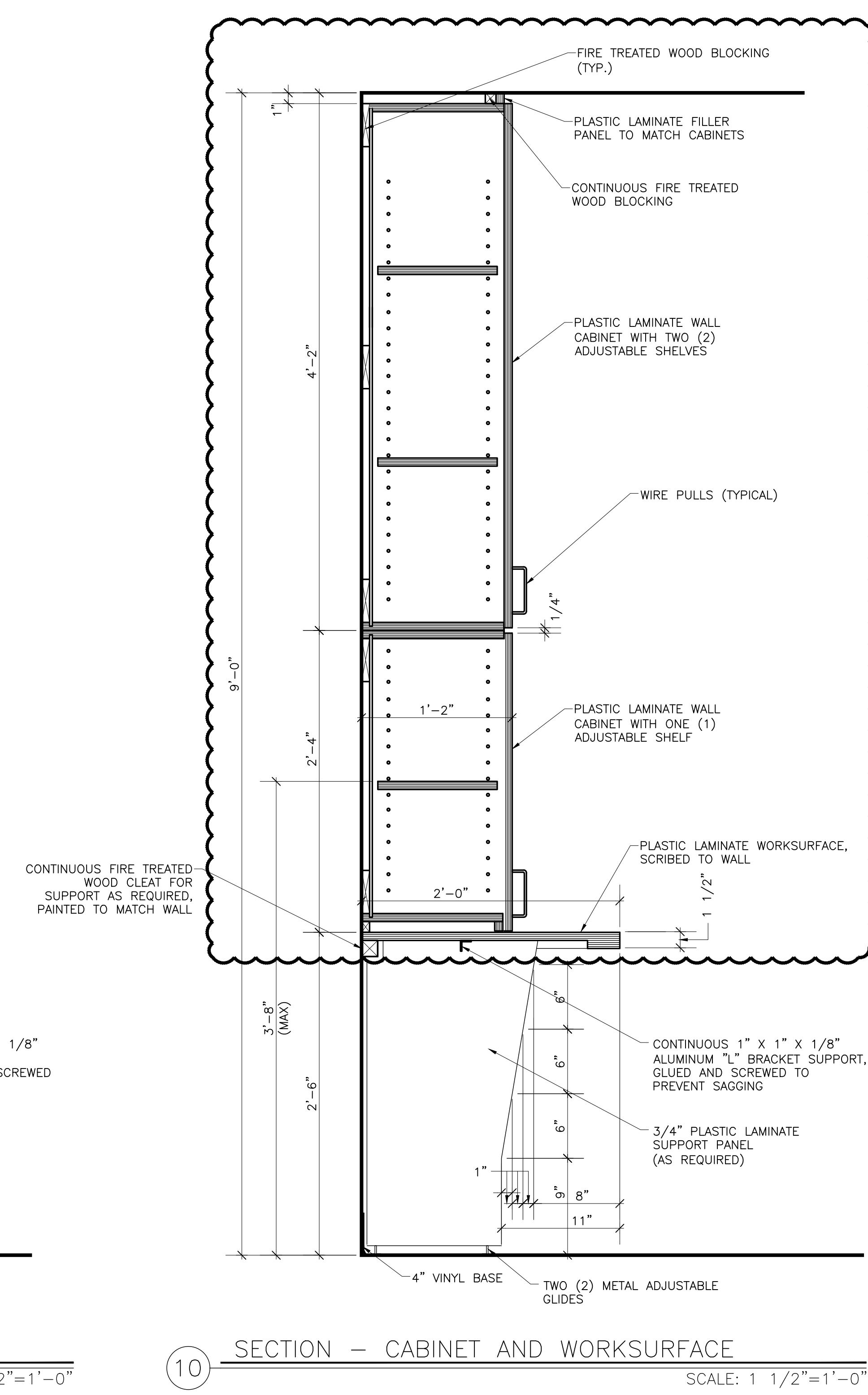
5 SECTION - RECEPTION DESK  
SCALE: 1 1/2"=1'-0"



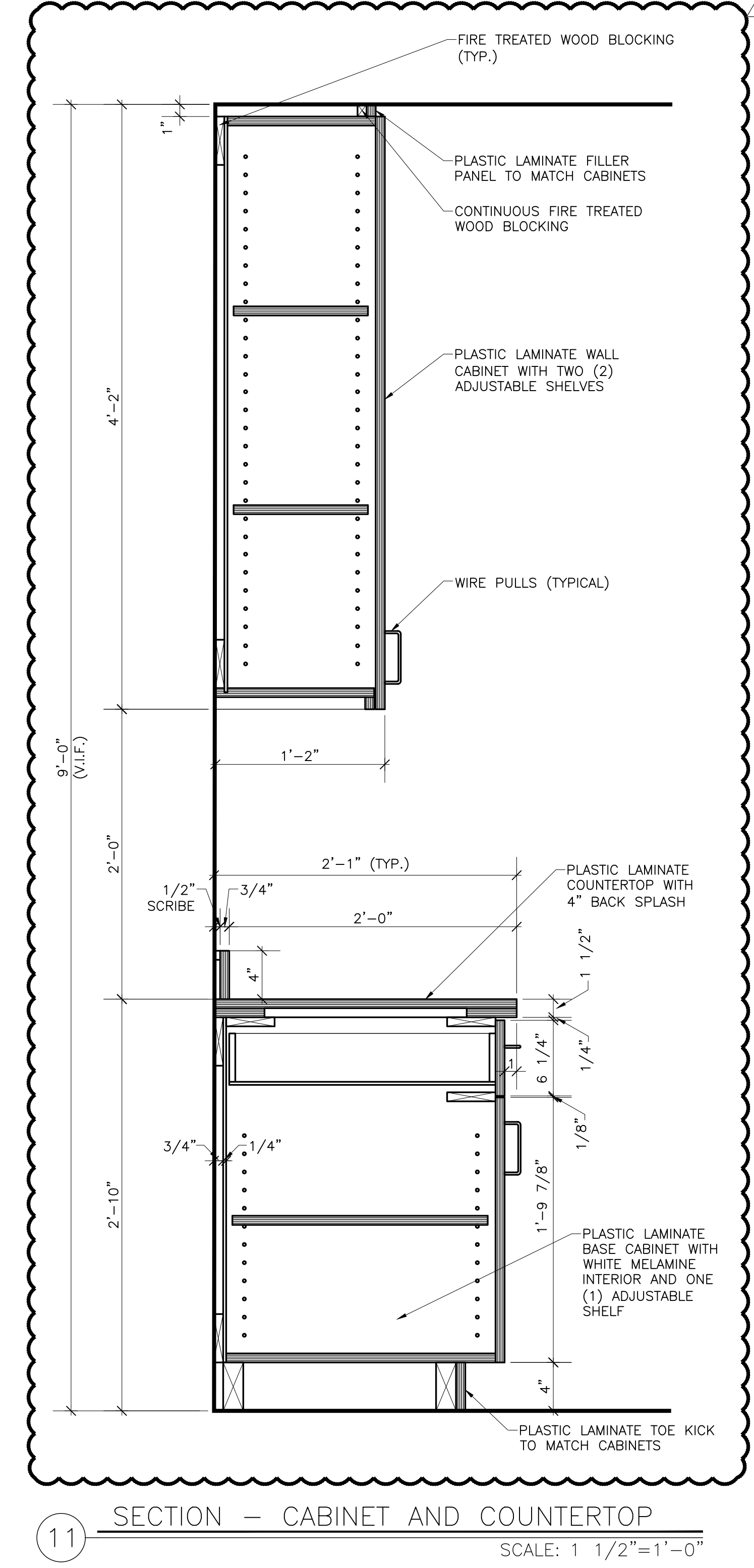
7 SECTION - COUNTERTOP  
SCALE: 1 1/2"=1'



8 SECTION - WORKSURFACE AT CONVECTOR  
SCALE: 1 1/2"=1'-0"



10 SECTION - CABINET AND WORKSURFACE  
SCALE: 1 1/2"=1'-0"



11 SECTION - CABINET AND COUNTERTOP  
SCALE: 1 1/2"=1'-0"

TENANT:

DR. GIRGIS  
(REMODEL & EXPANSION)  
ELM PLAZA  
908 NORTH ELM STREET  
SUITE #306  
HINSDALE, ILLINOIS 60521

EXISTING: 4,132  
EXPANSION: 1,557  
TOTAL: 5,689

PROJ. NO. 20761-16 R.S.F.

SUBMITTED: DATE:

REVISOR FOR BID: 08/04/18  
FOR PERMIT: 07/20/18  
FOR BID: 07/20/18  
FOR APPROVAL: 07/20/18  
DRAWN: 06/01/18  
SHEET TITLE:

SECTIONS

SHEET NO.: MW-7

**KEYNOTES**

1. WHERE VINYL PLANK FLOORING MEETS WITH CARPET TILE, PROVIDE SCHLUTER-SCHIENE (OR EQUAL), CHROME ANODIZED ALUMINUM TRANSITION STRIP.
2. PROVIDE TRANSITION STRIPS AS REQUIRED WHERE VINYL PLANK FLOORING MEETS EXISTING FLOOR FINISHES.
3. **BASE BID:** WAX AND POLISH EXISTING VINYL COMPOSITION TILE.
4. **PRICES AS ALTERNATE:** PROVIDE LVT-1 IN ROOMS #306, 307, 308, 311, 313, 314 & 317. REFER TO DIRECTION OF ARROW ON THE PLAN FOR INSTALLATION OF PLANS.

**SHEET NOTES**

1. APPLY CONCRETE SLAB PRIMER, IF RECOMMENDED BY FLOORING MANUFACTURER, PRIOR TO APPLICATION OF ADHESIVE. APPLY IN COMPLIANCE WITH MANUFACTURER'S DIRECTIONS.
2. MAINTAIN REFERENCE MARKERS, HOLES, OR OPENINGS THAT ARE PLAINLY MARKED FOR FUTURE CUTTING. DO THIS BY REPEATING MARKINGS ON FINISH FLOORING AS MARKED ON SUBFLOOR. USE CHALK OR OTHER NON-PERMANENT MARKING DEVICE.
3. THE CARPET CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF THEIR MEASUREMENTS AND TOTAL YARDAGE REQUIREMENTS FOR MATERIALS TO BE FURNISHED.
4. BROOM CLEAN OR VACUUM SURFACES TO BE COVERED, AND INSPECT SUBFLOOR. START OF FLOORING INSTALLATION INDICATES ACCEPTANCE OF SUBFLOOR CONDITIONS AND FULL RESPONSIBILITY FOR COMPLETED WORK.
5. FLOOR COVERING IN CLOSETS SHALL BE THE SAME AS THAT OF THE SPACE ONTO WHICH THE CLOSET DOOR OPENS, UNLESS OTHERWISE NOTED.
6. THE CARPET CONTRACTOR SHALL PRE-PLAN CARPET SEAMING TO PROVIDE UNIFORM DIRECTION OF PATTERN AND LAY OF PILE. LOCATION OF SEAMS SHALL BE CENTERED UNDER DOORS AND CARPET IS TO BE FREE OF SEAMS AND DIRECTION OF OCCUPANTS TRAVEL.

**SHEET NOTES**

7. ALL CARPET SHALL BE INSTALLED BY THE DIRECT GLUE METHOD AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
8. PROVIDE AND INSTALL BUILDING STANDARD STRAIGHT VINYL BASE FOR ALL CARPETED AREAS UNLESS OTHERWISE NOTED.
9. PROVIDE AND INSTALL BUILDING STANDARD COVE VINYL BASE FOR ALL TILED AREAS UNLESS OTHERWISE NOTED.

**ROOM SCHEDULE**

NUMBER	ROOM NAME
301	WAITING ROOM
302	CONSULT ROOM
303	AUDIOLOGY (EXISTING)
304	SHARED OFFICE
305	CONSULT ROOM
306	EXAM ROOM (EXISTING)
307	EXAM ROOM (EXISTING)
308	EXAM ROOM (EXISTING)
309	CORRIDOR
310	PHOTO ROOM (EXISTING)
311	LAB (EXISTING)
312	SHARED OFFICE
313	EXAM ROOM (EXISTING)
314	EXAM ROOM (EXISTING)
315	PRIVATE OFFICE (EXISTING)
316	CORRIDOR
317	EXAM ROOM (EXISTING)
318	CORRIDOR
319	COATS
320	RECEPTION
321	STORAGE CLOSET
322	IT CLOSET
323	STAFF WASHROOM (EXISTING)
324	COAT CLOSET
325	BREAK ROOM
326	ADMIN OFFICE (EXISTING)
327	ADMIN OFFICE (EXISTING)
328	ADMIN OFFICE (EXISTING)
329	BILLING/BUSINESS OFFICE
330	AUDIOLOGY BOUTIQUE
331	EXAM ROOM
332	TESTING ROOM
333	SHOTS ROOM
334	WAITING ROOM
335	WAITING ROOM
336	RECEPTION
337	STAFF MEETING ROOM
338	STAFF MEETING ROOM
339	WATER HEATER CLOSET



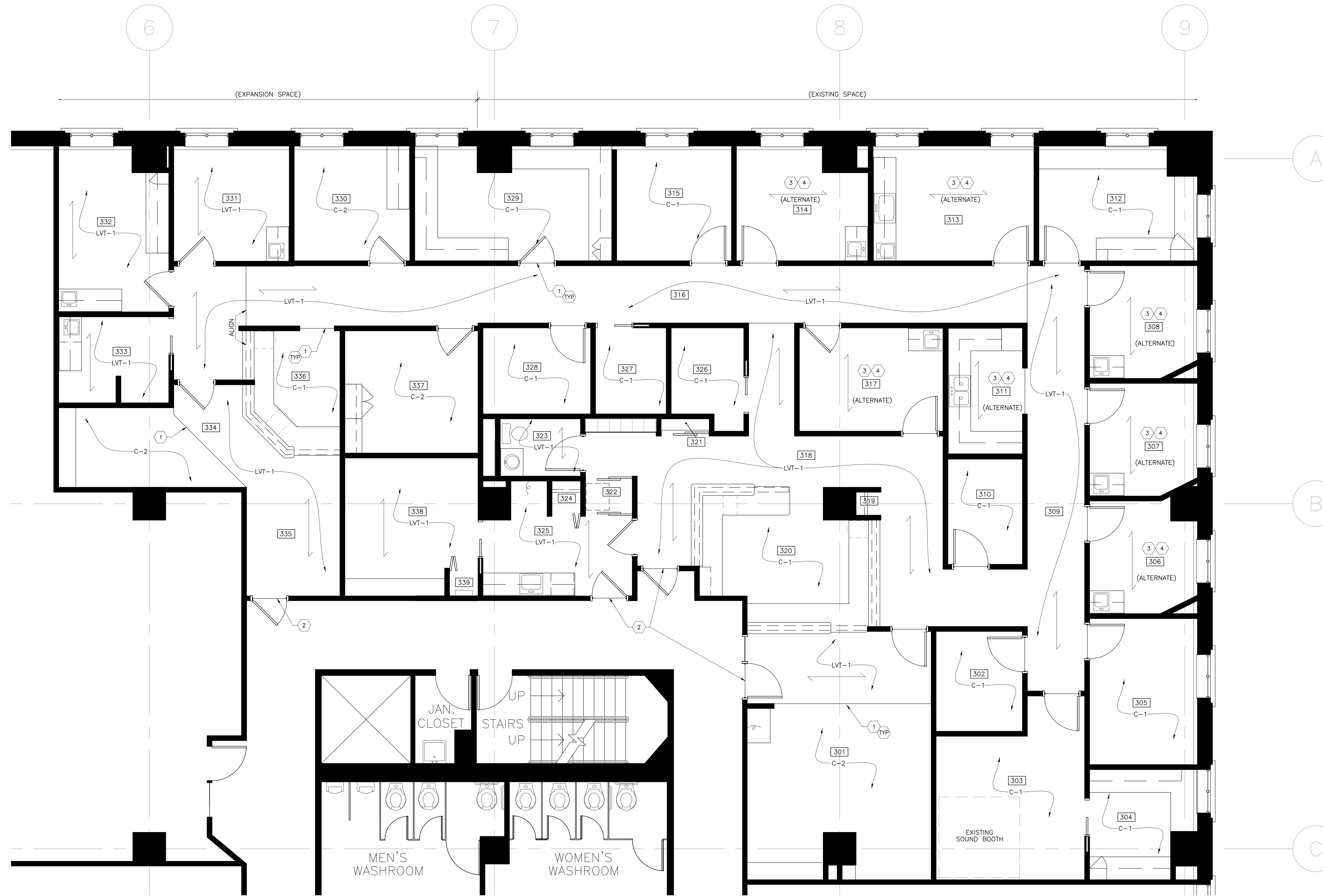
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 DRAWN BY: LAUREL A. LANG  
 REVISED BY:

**MANAGEMENT:**  
  
 ELM PLAZA  
 908 NORTH ELM STREET  
 HINSDALE, ILLINOIS 60521

**FLOOR FINISH SPECIFICATIONS**

<b>C-1</b>	<b>CARPET</b> MFR: MOHAWK COLLECTION: UNCHARTED STYLE: SOLVE II STYLE #: BT416 COLOR: IRIDESCENT COLOR #: 955 SIZE: 24" X 24" INSTALLATION: QUARTER TURNED
<b>C-2</b>	<b>CARPET</b> MFR: JJ - INVISON STYLE: TEMPO MODULAR STYLE #: 7023 COLOR: PRELUDE COLOR #: 1756 SIZE: 24" X 24" INSTALLATION: QUARTER TURN
<b>LVT-1</b>	<b>LUXURY VINYL TILE</b> MFR: FLOORFOLIO COLLECTION: MAPLEWOOD COLOR: 725-463 SIZE: 7.25" X 48"
<b>VB-1</b>	<b>VINYL BASE</b> MFR: JOHNSONITE COLOR: MOONROCK COLOR #: 29 HEIGHT: 4" PROFILE: STRAIGHT AT CARPET COVERED AT TILE

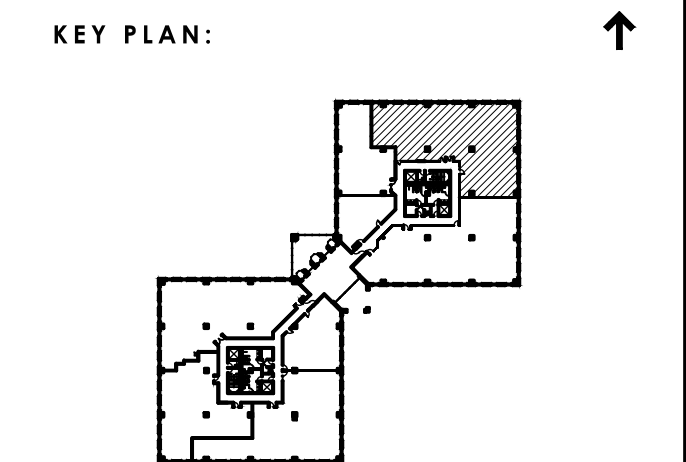


THIRD FLOOR - EAST WING - FLOOR FINISH PLAN

SCALE: 1/4"=1'-0"



**NOTE:**  
 ALL AREAS ILLUSTRATED WITH A HATCH ARE NOT INCLUDED IN THIS CONTRACT.



**TENANT:**  
 DR. GIRGIS  
 (REMODEL & EXPANSION)  
 ELM PLAZA  
 908 NORTH ELM STREET  
 SUITE #304  
 HINSDALE, ILLINOIS 60521

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 DRAWN: 06/01/18  
 SHEET TITLE:

THIRD FLOOR - EAST WING  
 FLOOR FINISH PLAN

SHEET NO.: FN-1

**KEYNOTES**

1. DRYWALL SOFFIT SHALL BE PAINTED (P-2) ON ALL VISIBLE SIDES.
2. CONTRACTOR SHALL INSTALL VINYL WALL COVERING (WVC-2) AROUND CLOSET #319 AND COLUMN, UP TO THE 1" DRYWALL REVEAL. THE SPACE ABOVE THE DRYWALL REVEAL TO CEILING SHALL BE PAINTED (P-2) TO MATCH SOFFIT. SEE ELEVATION "A" THIS SHEET FOR FURTHER CLARIFICATION.
3. CONTRACTOR IS TO PRIME WALLS BEHIND WOVEN WALLCOVERING (WVC-1) IN A TINTED PRIMER TO MATCH (P-2).
4. PROVIDE STAINLESS STEEL CORNER GUARDS STARTING ABOVE VINYL BASE AND EXTEND TO 1" BELOW FINISHED CEILING.  
MFR: PAWLING (OR EQUAL)  
STYLE: CG-52  
SIZE: 1"  
MOUNTING: ADHESIVE

**SHEET NOTES**

1. ALL PARTITIONS TO BE PAINTED P-1 UNLESS OTHERWISE NOTED.
2. ALL PARTITIONS WHEN PAINTED SHALL HAVE AN EGGSHELL LATEX FINISH UNLESS OTHERWISE NOTED.
3. PAINT FINISH FOR ALL METAL PARTS OF FRAMES, DOORS, PERIMETER ENCLOSURES, ETC. SHALL BE SEMI-GLOSS LATEX FINISH TO MATCH ADJACENT WALLS UNLESS OTHERWISE NOTED.
4. ALL PAINTED WALLS ARE TO RECEIVE ONE (1) COAT PRIMER TINTED TO MATCH FINISH COAT, AND TWO (2) FINISH COAT OF SPECIFIED COLOR.
5. WHERE WALL COVERING OR CHAIR RAIL WAS REMOVED WALLS ARE TO BE PATCHED, SANDED SMOOTH AND PREPARED FOR FINISHING AS REQUIRED.
6. ALL SURFACES ARE TO BE PROPERLY PREPARED PRIOR TO THE INSTALLATION OF WALL COVERING.
7. THE WALL COVERING CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE ACCURACY OF THEIR MEASUREMENTS AND TOTAL YARDAGE REQUIREMENTS FOR MATERIALS TO BE FURNISHED.

**ROOM SCHEDULE**

NUMBER	ROOM NAME
301	WAITING ROOM
302	CONSULT ROOM
303	AUDIOLOGY (EXISTING)
304	SHARED OFFICE
305	CONSULT ROOM
306	EXAM ROOM (EXISTING)
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332	TESTING ROOM
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334	WAITING ROOM
335	WAITING ROOM
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337	STAFF MEETING ROOM
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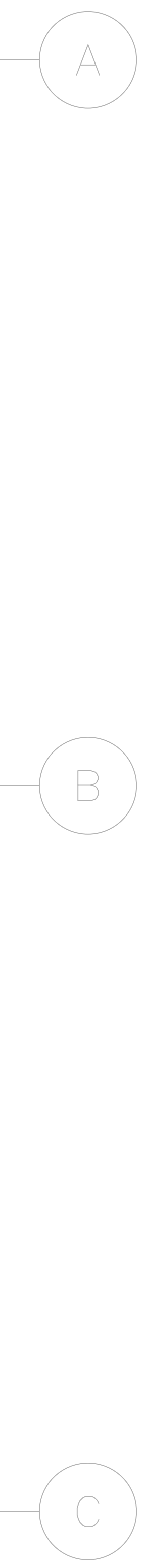
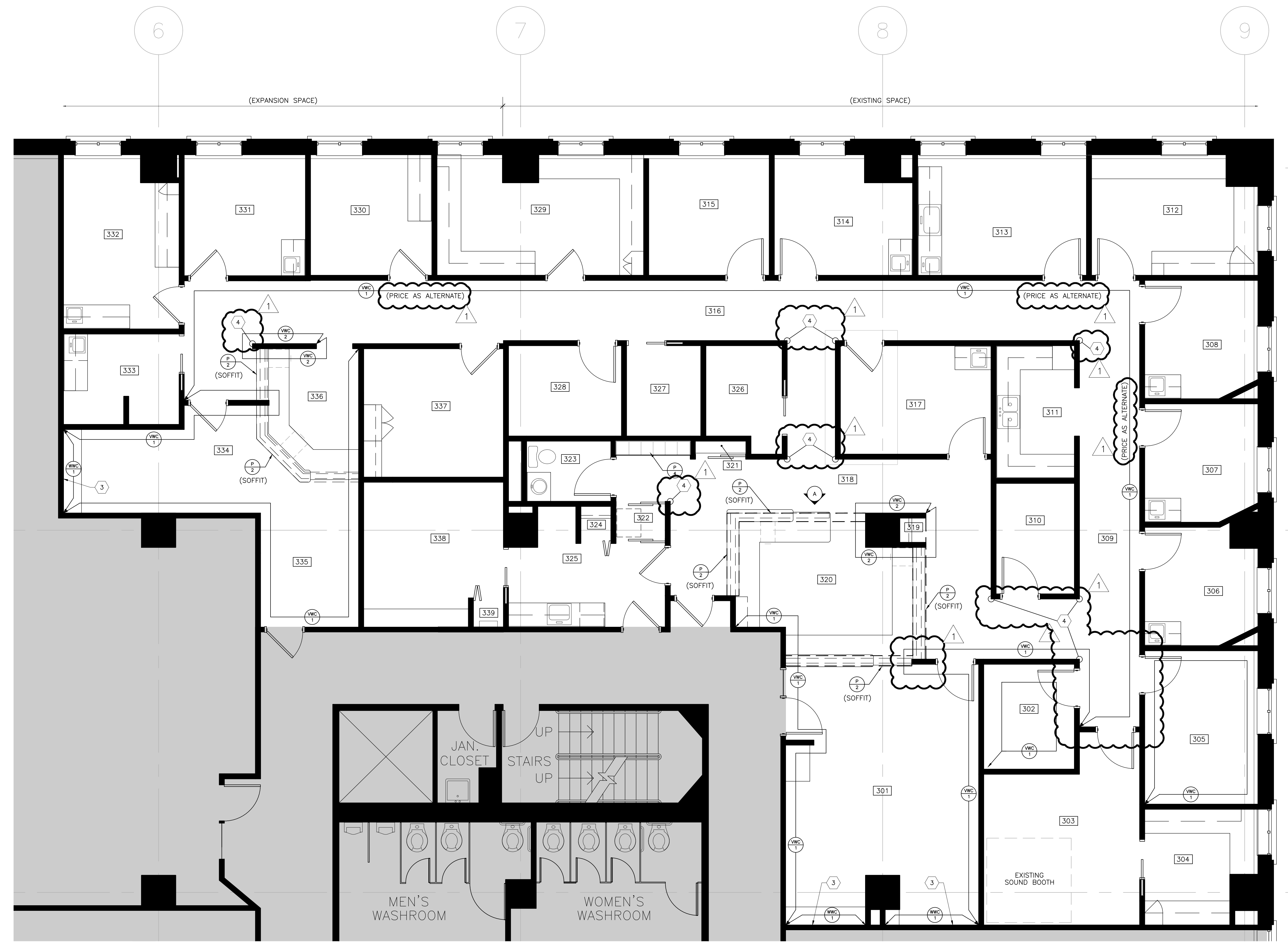
**THE INTERIOR DESIGN GROUP LTD.**  
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REVIEWER: TIMOTHY R. LIES  
DRAWN BY: LAUREL A. LANG  
REVISED BY:

**MANAGEMENT:**  
**CBRE**  
ELM PLAZA  
908 NORTH ELM STREET  
HINSDALE, ILLINOIS 60521

**WALL FINISH SPECIFICATIONS**

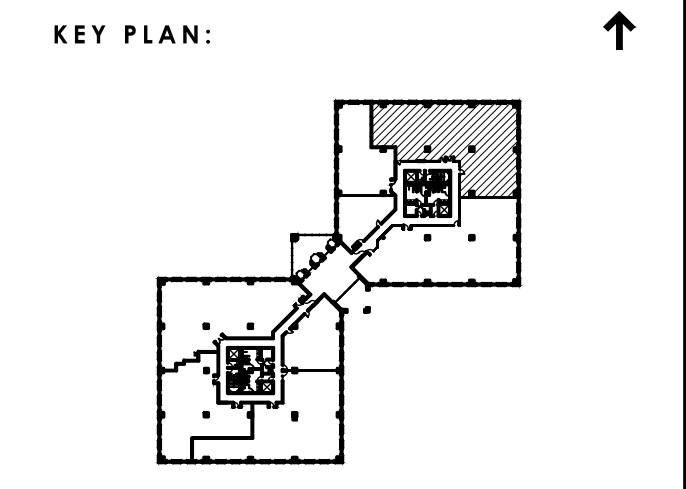
- P-1 PAINT (GENERAL)**  
MFR: BENJAMIN MOORE  
COLOR #: OC-28  
COLOR: COLLINGWOOD  
FINISH: LATEX EGGSHELL
- P-2 PAINT (SOFFIT)**  
MFR: BENJAMIN MOORE  
COLOR #: AC-27  
COLOR: GALVESTON GRAY  
FINISH: LATEX EGGSHELL
- P-3 PAINT (DOOR FRAME)**  
MFR: SHERWIN WILLIAMS  
COLOR #: SW7047  
COLOR: PORPOISE  
FINISH: SEMI-GLOSS LATEX
- P-4 PAINT (LOCKERS)**  
MFR: SHERWIN WILLIAMS  
COLOR #: SW7047  
COLOR: PORPOISE  
FINISH: ELECTROSTATIC
- WVC-1 VINYL WALL COVERING**  
DIST: D.L. COUCH  
MFR: TOWER  
PATTERN: BOUCLE  
COLOR: ASHEN T2-BC-04
- WVC-2 VINYL WALL COVERING**  
MFR: WOLF GORDON  
PATTERN: LUMEN  
COLOR: OZONE  
PATTERN #: G0H12137490
- WVC-1 WOVEN WALLCOVERING**  
DIST: OMBRE, INC  
MFR: CHILWICH  
STYLE: BASKETWEAVE (UNBACKED)  
COLOR: TITANIUM  
STYLE #: 500105-017M



THIRD FLOOR – EAST WING – WALL FINISH PLAN  
SCALE: 1/4"=1'-0"



**NOTE:**  
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**TENANT:**  
**DR. GIRGIS (REMODEL & EXPANSION)**  
ELM PLAZA  
908 NORTH ELM STREET  
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THIRD FLOOR - EAST WING  
FLOOR WALL PLAN  
SHEET NO.: FN-2